



***Planning and Zoning Commission Communication  
City of Longmont, Colorado***

Project Title: Longmont Climbing Collective CUSP

Date of Meeting: November 17, 2021

Staff Planner:

Zach Blazek, Associate Planner, zach.blazek@longmontcolorado.gov

**GENERAL INFORMATION**

Proposal: The property owner has submitted an application for a Conditional Use Site Plan for a new rock climbing facility known as the Longmont Climbing Collective, proposed on the 12.199-acre property. The proposed use is a secondary use in the N-PE zoning district.

Location: Generally located at the northwest corner of State Highway 119 and Pinnacle Street (south of Burrito Kitchens facility, north of Sandstone Ranch Park)

Area: 12.199 acres

Existing Use: Vacant

Zoning: N-PE

**SURROUNDING LAND USES AND ZONING**

North: N-PE  
South: P  
East: N-PE  
West: N-PE

**COMPREHENSIVE PLAN DESIGNATIONS**

Property Owner: Longmont Climbing Collective LLC  
Applicant: Jeff Van Sambeek  
Applicant Contact: Jeff Van Sambeek  
Company: Lodestone Design  
Address: 205 5th St Ste 200, Frederick CO  
Phone: 3038008633  
Email: jeff@lodestonedesign.com

**APPLICATION DESCRIPTION**

An application has been filed by Longmont Climbing Collective for a conditional use site plan to

construct a new commercial recreation facility (rock climbing facility which includes small retail and fitness areas) on the vacant parcel at the northwest corner of State Highway 119 and Pinnacle Street (south of the Burrito Kitchens facility and north of Sandstone Ranch park). The project site is zoned N-PE (Nonresidential Primary Employment). The legal description of the parcel is Lot 2, Block 1, JM Smuckers LLC Plant Subdivision. The properties surrounding the parcel are zoned N-PE to the north, west, and east, and P to the south. A vicinity map is provided below:



This project falls into the "commercial entertainment and recreation facility" use category, which is permitted as a secondary use in the N-PE zone district with the following use-specific standard: indoor commercial recreation facilities shall not exceed 25,000 square feet. The facility includes 19,137 sf of recreation area as well as 258 sf of retail and 1584 sf of office space. The project meets the Land Development Code requirements for a conditional use site plan in the N-PE zone district, including compliance with the maximum height, setbacks, building design standards, circulation and pedestrian linkage, adequate public facilities, and street standards.

This property is adjacent to the Spring Gulch #2 greenway. For this application, regarding a property adjacent to a city owned park, greenway and open space, Planning & Zoning Commission has authority only to recommend action to the city council. This is the first application for a conditional use site plan review adjacent to city owned property being taken to Planning & Zoning Commission for a recommendation, following the implementation of Ordinance No. O-2021-16 (approved by City Council March 15, 2021). Staff is recommending that Planning & Zoning Commission recommend that City Council approve the Conditional Use Site Plan.

**Alignment with the Envision Longmont Comprehensive Plan**

The Envision Longmont Comprehensive Plan designates this property as Nonresidential Primary Employment. Allowable land uses in this designation include primary uses such as larger scale manufacturing, warehousing and distribution, research and development, and modern office space, as well as secondary uses such as restaurants, professional and medical offices, and other employment uses. The site takes primary access from Pinnacle Street, which is designated as a local street on the Envision Longmont Plan. The property is adjacent to Spring Gulch #2 Greenway, which makes connections to Sandstone Ranch and St. Vrain Greenway to the south. State Highway 119, located to the south of the property is identified as a regional arterial.

**DEVELOPMENT REVIEW COMMITTEE PROCESS**

The Development Review Committee (DRC) initiated review of this project in June 2021. General plan corrections to address landscaping, wildlife species and habitat, lighting, parking, traffic, drainage and stormwater design, and architectural design were requested. Two additional rounds of plan review and revision have since taken place. Following the third round of review, there are minimal staff comments remaining. These comments are largely cosmetic in nature, requests to update notes and details – the site plan itself won't need to change in order for all of the remaining comments to be addressed. Staff expect to see these revisions and all remaining comments addressed with the next submittal following the P&Z hearing.

**NEIGHBORHOOD INPUT – NOTIFICATIONS AND SIGN POSTING**

<b><u>Notice Type</u></b>	<b><u>Date Sign Posted</u></b>	<b><u>Date Mailed/Postmarked</u></b>
Neighborhood Meeting	1/21/2021	1/21/2021
Notice of Application	6/17/2021	6/17/2021
Notice of Public Hearing	11/3/2021	11/1/2021

A neighborhood meeting was held at 6:30 pm on Tuesday, February 4 at the Longmont Development Services Center, 385 Kimbark St, Longmont. Notices for the meeting were mailed out to all property owners within a 1,000 foot radius of the subject property. Staff and the applicant were in attendance, but no one else attended the meeting.

Notice of application was mailed to all property owners within a 1,000 foot radius on June 17, 2021. Signs were posted notifying the public of a pending development application on June 17, 2021. A copy of the notice and certifications of sign posting and mailing are located in Attachment 4.

A notice of public hearing was mailed to all property owners within a 1,000 foot radius on November 1, 2021. Signs were posted notifying the public of a public hearing on November 3, 2021. A copy of the notice and certifications of sign posting and mailing are located in Attachment 4. Legal notice has been published in the Times Call newspaper.

## **CRITERIA EVALUATION**

Review Criteria for All Application Types – Section 15.02.055:

In order to grant approval of a Conditional Use Site Plan, the Planning & Zoning Commission must find the application meets the following common review criteria (Code Section 15.02.055):

**1. The application is consistent with the comprehensive plan and the purpose of the code and zoning district; conforms to any previously approved concept plan, preliminary plat, or PUD overall development plan; and complies with all applicable statutes, codes, ordinances and regulations.**

The conditional use site plan for the proposed commercial recreation facility is generally consistent with the property's land use designation of nonresidential primary employment in the Envision Longmont Comprehensive Plan, which allows for a range of secondary uses that includes commercial recreation. The application conforms with the previously approved Concepts Direct concept plan. In general, the facility is proposed with an exterior design that is consistent with those of the existing nonresidential commercial uses within the surrounding N-PE zone district.

**2. The application complies with applicable city standards, including for street and utility design and layout, and adequate utilities are available or will be provided for appropriate urban-level services.**

Adequate utilities in conformance with City standards have been provided. With respect to public improvements such as street, sidewalk, and utility design and layout, the proposed site plan meets City standards. New interior drives and utilities are proposed and tie in at existing property boundaries.

**3. The application proposes development compatible with surrounding properties in terms of land use, site and building layout and design, and access.**

The property is neighbored by land uses consistent with the nonresidential primary employment zone district. The proposed land use would not substantially change the character of the surrounding area. The site plan provides adequate circulation and pedestrian linkage, with connections made to the Spring Gulch #2 greenway trail. The proposed facility is compatible in terms of height, scale, and massing with adjacent land uses (including Smuckers and Burrito Kitchens). Architectural design presents form and materials that are compatible with the surrounding land uses.

**4. The application will not adversely affect surrounding properties, the natural environment, existing or planned city transportation, or utility services or facilities, or the adverse impacts of the use will be mitigated to the maximum extent feasible.**

The proposed development will not significantly adversely affect the natural environment, including air, water, noise, stormwater management, or vegetation; this is supported by the Species and Habitat Report provided with the submittal, which found that there would be no direct impacts to any wetland or riparian habitat, rare plants or native plant communities, key wildlife habitat, or protected species. The Species and Habitat Report additionally concluded that the proposed project buffers should provide protection for the riparian corridor along Union Ditch.

Stormwater quality improvements are included. The applicant is providing sufficient landscaping on the property and has sited the facility in the northwest corner so as to provide the largest possible buffer between the greenway trail and associated natural areas. The required 150' setback from riparian area has been met. Additionally, the proposed development will not adversely affect existing or planned city transportation facilities; no additional roadway improvements are needed to serve this development. The proposed development will not adversely affect utility services nor public facilities. Adequate police and fire protection services are available to this site.

**5. The application, where required, complies with the sustainability evaluation system requirements to mitigate impacts of development within the city's riparian areas, and as applicable to other projects as determined by separate agreement.**

The proposed development will be located more than 150 feet from the edge of riparian habitat along Spring Gulch #2 and is in compliance with municipal code requirements. No variance is requested or necessary, therefore the sustainability evaluation system is not applicable to this application.

**6. The application includes an appropriate transportation plan, including multi-modal transportation access, and is integrated and connected, where appropriate, with adjacent development through street connections, sidewalks, trails and similar features.**

A traffic generation analysis was provided with the first submittal of this project. This analysis found that the use was expected to create no negative impact to traffic operations for the surrounding roadway network and proposed site accesses. Analysis of site-generated traffic concludes that proposed development traffic volumes are minor. The development will be accessible from two points on Pinnacle Street. Additional access to the site will be maintained for multiple modes of transportation, including the Spring Gulch #2 greenway trail to the west. Bike racks are being provided to meet City standards.

Review criteria for secondary uses – Section 15.04.030.A.1.c:

The assembly use is a secondary use in the N-PE zone district. Expansion of this use is subject to the following additional review criteria:

**1. The secondary use as proposed is of a scale and design and in a location that is compatible with surrounding uses and potential adverse impacts of the use will be mitigated to the maximum extent feasible.**

The site is designed to demonstrate conformance with all requirements for materials, height, and massing; architectural materials have been selected to demonstrate a balance between industrial and modern design, in character with the surrounding land uses. The building and parking areas have been located in the northwest corner adjacent to the road, creating the maximum possible buffer between the use and the Spring Gulch #2 greenway area.

**2. The secondary use as proposed is consistent with the comprehensive plan and the purpose and intent of the code and underlying zoning district.**

The proposed commercial recreation facility is generally consistent with the property’s land use designation of nonresidential primary employment in the Envision Longmont Comprehensive Plan, which allows for a range of secondary uses that includes commercial recreation.

**3. The secondary use as proposed will not substantially diminish the availability of land within the underlying zoning district for primary uses, or reduce the availability of land for primary uses below a minimum level necessary to meet the intent of the district.**

The proposed commercial recreation facility will not substantially diminish the availability of land within the N-PE zoning district for primary uses or reduce the availability of land for primary uses below a minimum level to meet the intent of the N-PE zone district. Most of the surrounding uses are currently manufacturing/industrial in character and there is still additional neighboring land left to develop.

A breakdown of land uses in the context of the area zoned N-PE in this part of Longmont is provided in the following table:

Land Use	Property Area
Proposed Longmont Climbing Collective	12.2 acres
Burrito Kitchens – food manufacture	7.1 acres
Smuckers – food manufacture	62.6 acres
McLane Western – supply chain distribution	55.0 acres
McLane Western – vacant/agriculture	88.2 acres
Other vacant/undeveloped properties	21.83 acres
Existing residential properties	2.0 acres
Total N-PE zone district context area:	248.93 acres

Burrito Kitchens, Smuckers, and McLane Western all represent permitted primary uses in the N-PE zone district. The sum total of these existing uses represents 50% of the total N-PE context area. There are additionally 110.03 acres of vacant or undeveloped land remaining in the context area that could be purposed for future development. It is reasonable to expect that 12.2 acres of land as a permitted secondary use would not substantially diminish the availability of land in the context area for the development of additional primary uses in the future.

### **Planning and Zoning Commission Options**

The Planning and Zoning Commission may consider the following options when reviewing Longmont Climbing Collective Conditional Use Site Plan:

As the project site is located adjacent to City-owned park, greenway, or open space, the Planning & Zoning Commission has the authority to recommend action to the City Council. For this application, the Planning & Zoning Commission shall recommend one of the following, per LMC 15.02.050.B.6.g:

1. Recommend approval of the Longmont Climbing Collective Conditional Use Site Plan application, finding that the review criteria have been met, as reflected in PZR-2021-11A
2. Recommend approval of the Longmont Climbing Collective Conditional Use Site Plan application, finding that the review criteria have been met, with conditions, as reflected in PZR-2021-11B
3. Recommend denial of the Longmont Climbing Collective Conditional Use Site Plan application, finding that the review criteria have not been met, as reflected in PZR-2021-11C

### **Recommendation**

Staff recommends option #2: that the Planning and Zoning Commission recommend approval of the Longmont Climbing Collective Conditional Use Site Plan application, finding that the review criteria have been met, with the condition that all remaining staff comments on the Conditional Use Site Plan are addressed.

### **Attachments**

1. Resolutions
2. Applicant cover letter and review criteria statement
3. Neighborhood meeting summary
4. Certifications of mailing and sign posting
5. Species & habitat report
6. Traffic generation analysis
7. Referral agency correspondence
8. Vicinity map
9. Conditional use site plan

### **Project File Number**

3357-09d

October 12, 2021

**City of Longmont**  
Planning and Development Services  
385 Kimbark Street  
Longmont, CO 80501

**Re: Parcel 131306404002, Block 2, Lot 2 - Conditional Use Site Plan**

I am pleased to have the opportunity to submit the attached materials in support of Longmont Climbing Collective's proposed use of parcel 131306404002, Block 2, Lot 2 in the J.M Suckers LLC Plant RPLT A subdivision as the home of their new facility. As a Heath facility or club, this use is permitted in the N-PE zone district pursuant to a conditional use site plan approval. We have prepared these materials to facilitate the review and approval of this use.

Longmont Climbing Collective (LCC) is currently operating out of a recently remodeled facility at 33 South Pratt Parkway in Longmont. They are rapidly outgrowing that space and working toward opening this new facility to meet the needs of their growing client base. The new facility is scaled and structured to help make LCC a regional and national destination for climbing events. One goal of this new facility is to help secure Longmont's place on the climbing "map" and ensure Longmont's name is associated with climbing in much the same way Colorado's already is.

LCC will use this facility as their primary fitness center, training facility, climbing gym, climbing competition venue, offices, and member community area. The bulk of the building will be used for climbing walls and training boards. Additional areas for the benefit of LCC members include locker rooms, meeting rooms, a yoga studio, and a small concession/café area.

I look forward to working with LCC and the City to help facilitate this review and approval process. It is our intent to prepare a design that is compliant with all applicable codes and does not rely on any modification or variance requests. Please contact me directly regarding any concerns or if additional information is required.

Sincerely,



Jeffrey Van Sambeek, Architect  
Principal Architect  
Lodestone Design Group

Longmont Climbing Collective  
Conditional Use Site Plan  
Parcel 131306404002, Block 2, Lot 2

**Review Criteria Analysis**  
Updated 8-19-21

**15.02.055 – Review Criteria for All Application Types**

The application is consistent with the comprehensive plan and the purpose of the code and zoning district; conforms to any previously approved concept plan, preliminary plat, or PUD overall development plan; and complies with all applicable statutes, codes, ordinances and regulations.

The proposed use of this vacant developed land for a health facility use is consistent with the existing commercial use of this development within the N-PE zone district. Minimal site changes are proposed to ensure that this property remains substantially consistent with any prior plats or development plans for this property as well as to preserve existing wildlife corridors and areas to the greatest extent feasible.

The application complies with applicable city standards, including for street and utility design and layout, and adequate utilities are available or will be provided for appropriate urban-level services.

New interior drives and utilities are proposed and tie into existing streets and utilities at the existing property boundaries. Adequate utilities are already provided to this property. All interior drives are designed to facilitate free movement of cars, trucks, and emergency vehicles.

The application proposes development compatible with surrounding properties in terms of land use, site and building layout and design, and access.

The proposed development is of a similar scale and character to existing and proposed adjacent properties. The current development is proposed for the northeast corner of the property to provide greater perceived connection to other structures in this development and preserve existing wildlife areas. Site access aligns with existing adjacent intersections.

The application will not adversely affect surrounding properties, the natural environment, existing or planned city transportation, or utility services or facilities, or the adverse impacts of the use will be mitigated to the maximum extent feasible.

The proposed use will have no adverse impact on the natural environment, surrounding properties, city facilities or utility services. As stated above, the site has been designed to help preserve wildlife corridors and areas to the maximum extend

feasible. Setbacks are maintained to surrounding properties and public ROWs. No changes to existing public utilities are required.

The application includes an appropriate transportation plan, including multi-modal transportation access, and is integrated and connected, where appropriate, with adjacent development through street connections, sidewalks, trails and similar features.

Proposed interior drives and walks are connected to existing streets and pedestrian walks along Pinnacle Street. Pedestrian crossings are generally perpendicular to vehicle routes to encourage highly visible and safe interaction between various transportation types. Accessible walks and parking areas are provided.

No connection has been made to the greenway trail on the west side of the property at this time due to the distance between the developed portion of the site and the proposed greenway trail. A connection may be evaluated in the future if permitted by the City and appropriate to the use of the site.

#### **15.05.060 C Conditional Uses**

**Review Procedure.** Applications for a conditional use shall be processed concurrently with an application for site plan review, as applicable, as indicated in subsection 15.02.070.C.

This application is being submitted as a concurrent Conditional Use review and Site Plan review.

**Authority to Impose Conditions to Ensure Compliance with Standards.** As with other types of application, the decision-making body may impose conditions on a proposed conditional use to ensure compatibility and to ensure that potential adverse impacts on surrounding uses, properties, public health or safety, the environment, or the district will be substantially mitigated. Conditions may include, but are not limited to, measures addressing the amount or location of secondary uses, outdoor activity or storage; location on a site of activities that generate noise, odor, vibration, glare, or other adverse impacts; location of buildings or structures generally; and hours of operation and deliveries.

Efforts have been made to ensure the proposed development has minimal impacts or neighboring properties or the native environment, no further conditions of use seem appropriate at this time.

**Conditions for Time Limits/Review.** The decision-making body may also impose time limits on conditional uses and require regularly scheduled reviews of approved conditional uses.

Due to the minimal impact of the proposed use (relative to the other permitted uses and neighboring property uses) for this property, no further conditions of use seem appropriate at this time. Further, no concerns were presented at the neighborhood meeting by neighbors that would seem to warrant a time limit or further reviews after initial approval.

**Conditions of Approval Binding.** The restrictions and conditions of approval shall be placed on the conditional use site plan, shall be binding on the applicant, the applicant's

successors and assigns, and shall run with the land. The notice of approval of the site plan shall be recorded at the county clerk and recorder's office.

Any conditions developed through this review process shall be recorded as required.

**Discontinuance.** If a conditional use is extinguished, or discontinued for a period of one year, the conditional use permit shall automatically lapse and be null and void.

Acknowledged

**Changes to Approved Conditional Uses.** Building additions or site changes on existing approved conditional uses that do not constitute a substantial change to the use, and that do not create or can adequately mitigate potential adverse impacts on surrounding properties or neighborhoods, as determined by the director, may be reviewed as a site plan amendment according to subsection 15.02.070.C. However, expansion of a conditional use onto a different lot or parcel, not previously part of the conditional use approval, shall require review under this subsection.

Acknowledged.

Longmont Climbing Collective  
Conditional Use Site Plan  
Parcel 131306404002, Block 2, Lot 2

### **Neighborhood Meeting Summary**

A neighborhood meeting was held at 6:30 PM, Tuesday, February 4th at the Longmont Development Services Center, 385 Kimbark St., Longmont, CO 80501. The meeting lasted about thirty minutes but no neighbors or members of the public arrived to attend the meeting.

The meeting was hosted by:

- Jeff Van Sambeek, Architect- Lodestone Design Group
- Brian Hylenski

Neighborhood Attendees (sign-in sheet attached):

- No attendees

Also attending were:

- Jade Krueger, City of Longmont

General discussion of the proposed development and review process was held between the development team and City staff, but specific concerns were not discussed as no neighbors attended the meeting to express either concern or support.





CITY OF LONGMONT | Planning Division

## Certificate of Mailing

I, Zach Blazek, certify that letters of notification were mailed in accordance with Section 15.02 of the City of Longmont Land Development Code for a

Neighborhood Meeting

Notice of Application

Planning and Zoning Commission Public Hearing to be held on 11/17

City Council Public Hearing to be held on \_\_\_\_\_

for the application identified as

Longmont Climbing Collective Conditional Use Site Plan

*Project Name*

On the subject property located at

NW Corner of Pinnacle St and HWY 119

*Site Address or Location Description*

The letter(s) was/were sent on 11.1.21

*A copy of the letter and list of recipients is attached.*

I certify that the foregoing information is true and correct.

ZSB

*Signature*

11.1.21

*Date*



November 1, 2021

# Notice of Public Hearing

## Longmont Planning & Zoning Commission Public Hearing

### Longmont Climbing Collective Conditional Use Site Plan

#### (Project File #3357-09d)

*If you need interpretation, accommodations, or other special assistance in order to participate in a meeting, please contact the Planning Division at 303-651-8330 or [longmont.planning@longmontcolorado.gov](mailto:longmont.planning@longmontcolorado.gov), at least 48 hours prior to the meeting to make arrangements.*

*Si necesita interpretación, servicios especiales u otra asistencia adicional para participar en alguna reunión, comuníquese con 48 horas de anticipación al Departamento de Planificación Urbana al 303-651-8330 o escribanos a [longmont.planning@longmontcolorado.gov](mailto:longmont.planning@longmontcolorado.gov), para así hacer los pertinentes arreglos.*

**Date/Time:** November 17, 2021 at 7:00 p.m. – Remote Meeting (See Below)

**Proposal/Background:** An application has been submitted for Conditional Use Site Plan review of a new indoor/outdoor rock climbing facility known as Longmont Climbing Collective, on the 12.199-acre property west of the intersection of Pinnacle St and Colorful Ave, northwest of the intersection of Pinnacle St and East Ken Pratt Blvd. Please see the drawings provided on the back of this page for more information.

**Location:** Northwest corner of Hwy 119 & Pinnacle St (south of Burrito Kitchens facilities, north of Sandstone Ranch park)

**How to Participate:** Any person having an interest in the above proceeding is invited to submit written comments to the staff person listed below either via email or US Mail. Any comments received prior to 5:00 PM on November 17<sup>th</sup> will be forwarded to the Planning & Zoning Commission. You can also call in during the meeting to speak on behalf of this application. Instructions for calling in will be posted on the screen during the livestream of the meeting.

**Due to the Covid-19 situation, the meeting will be livestreamed.** In order to protect residents, staff, and elected officials due to the novel COVID-19 virus, Longmont residents are urged to view the public hearing and provide public comment from the comfort and safety of their homes by watching the meeting via livestream on the [City of Longmont's YouTube](#) page and calling in to provide public comment. Information will be displayed and announced during the live meeting directing the public on how and when to call in to the meeting.

Information on this hearing item, including the staff report, plans and drawings, or how to livestream the public hearing and how to provide public comment either via email or phone call-in can be found on the City's webpage at: <https://www.longmontcolorado.gov/departments/agendas-and-minutes/agenda-management-portal>. A copy of the staff report and the project plans can be obtained from this website after November 11<sup>th</sup>.

**City Planning Staff Contact: Zach Blazek, Associate Planner**

[zach.blazek@longmontcolorado.gov](mailto:zach.blazek@longmontcolorado.gov) or (303) 774-4828





CITY OF LONGMONT | Planning Division

## Certificate of Property Posting

I, Zach Blazek, certify that 2 sign(s) was/were posted pursuant to the provisions of the City of Longmont Land Development Code, for the application identified as

Longmont Climbing Collective Conditional Use Site Plan

*Project Name*

for a

Neighborhood Meeting

Notice of Application

Planning and Zoning Commission Public Hearing to be held on 11/17

City Council Public Hearing to be held on \_\_\_\_\_

On the subject property located at

NW Corner of Pinnacle St and HWY 119

*Site Address or Location Description*

*Attach photo(s) of posting on second page below (use additional pages if necessary):*



I certify that the foregoing information is true and correct.

ZSB

*Signature*

11.1.21

*Date*



CITY OF LONGMONT | Planning Division

## Certificate of Mailing

I, Hans Friedel, certify that letters of notification were mailed in accordance with Section 15.02 of the City of Longmont Land Development Code for a

Neighborhood Meeting

Notice of Application

Planning and Zoning Commission Public Hearing to be held on \_\_\_\_\_

City Council Public Hearing to be held on \_\_\_\_\_

for the application identified as

Longmont Climbing Collective Conditional Use Site Plan

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*Project Name*

On the subject property located at

Northwest corner of Highway 119 and Pinnacle St. (Parcel # 131306404002)

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*Site Address or Location Description*

The letter(s) was/were sent on 6/17/2021

*A copy of the letter and list of recipients is attached.*

I certify that the foregoing information is true and correct.

Hans Friedel

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*Signature*

6/17/2021

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*Date*

Planning and Development Services  
Development Services Center  
Longmont, CO 80501  
(303) 651-8330 | Fax# (303) 651-8896  
Email: [longmont.planning@longmontcolorado.gov](mailto:longmont.planning@longmontcolorado.gov)  
Website: <https://longmontcolorado.gov/>



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## Notice of Application

**Date:** 06/17/2021

### To Whom It May Concern

The Planning Division has received and initiated review of the following application. Public hearings before the Planning and Zoning Commission and/or City Council will be held at dates to be determined.

**Project:** Longmont Climbing Collective Conditional Use Site Plan  
**Proposal:** A Conditional Use Site Plan to propose a new health facility or club located in Block 2, Lot 2 of the J.M Smuckers LLC Plant Replat A subdivision. The new health facility or club is a Conditional Use in the N-PE zoning district.  
**Location:** Northwest corner of Highway 119 and Pinnacle Street (Parcel # 131306404002)  
**Existing Use:** Undeveloped Property  
**Zoning:** N-PE

### Surrounding land uses and zoning

**North:** N-PE  
**South:** N-PF (Sandstone Ranch Community Park)  
**East:** N-PE  
**West:** N-PE

**Comprehensive Plan Specifications:** Primary Employment

**Property Owner:** Longmont Climbing Collective LLC - Bryan Hylenski

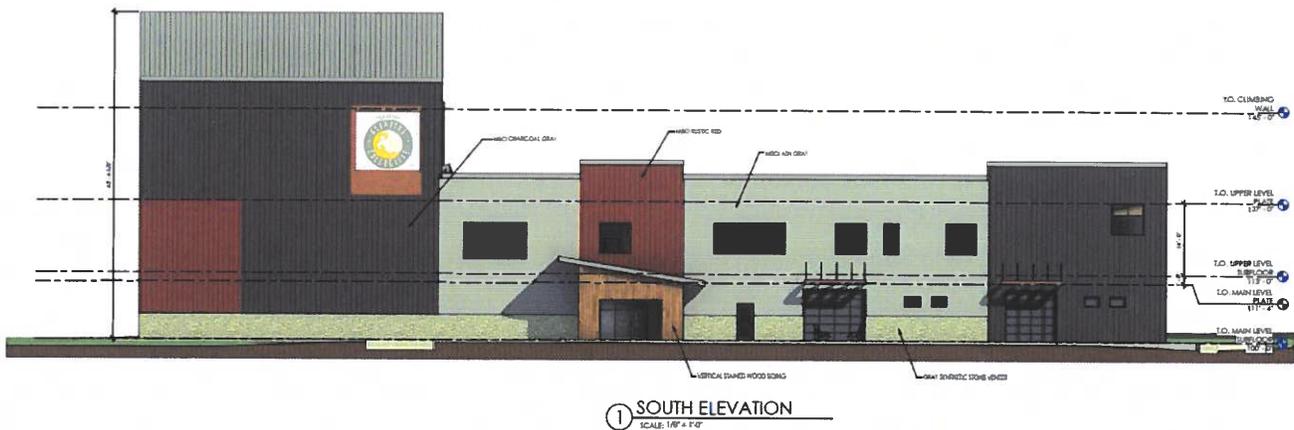
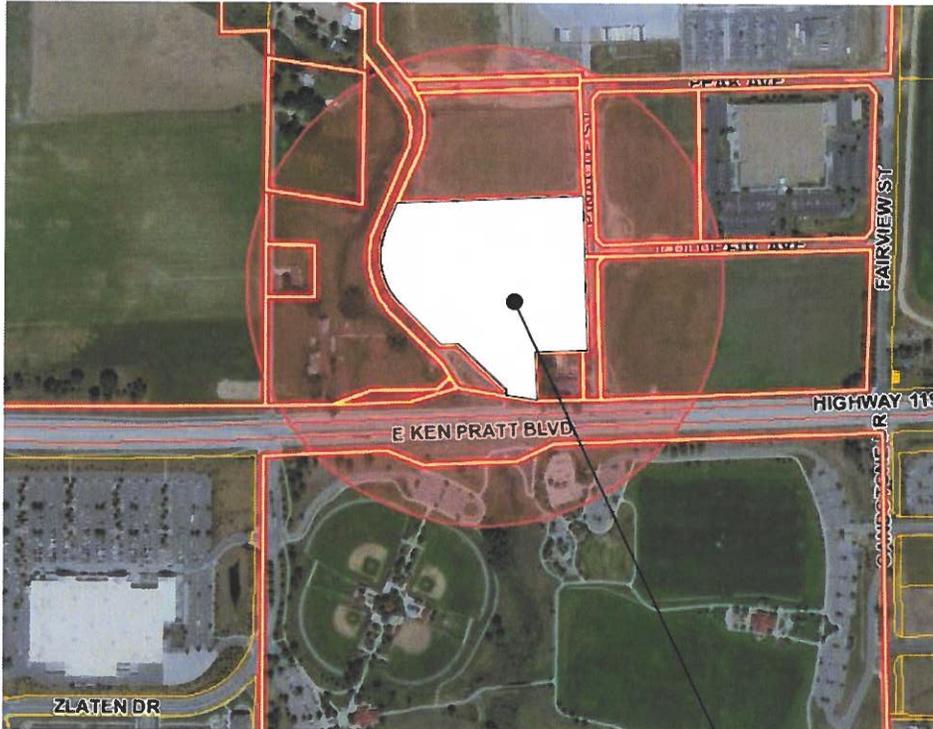
**Applicant Contact:** Jeff Sambeek  
**Address:** 206 5th Street  
Suite 200  
Frederick, CO 80530  
**Phone:** 303-800-8633  
**Email:** [jeff@lodestonedesign.com](mailto:jeff@lodestonedesign.com)  
**City Staff Planner:** Hans Friedel

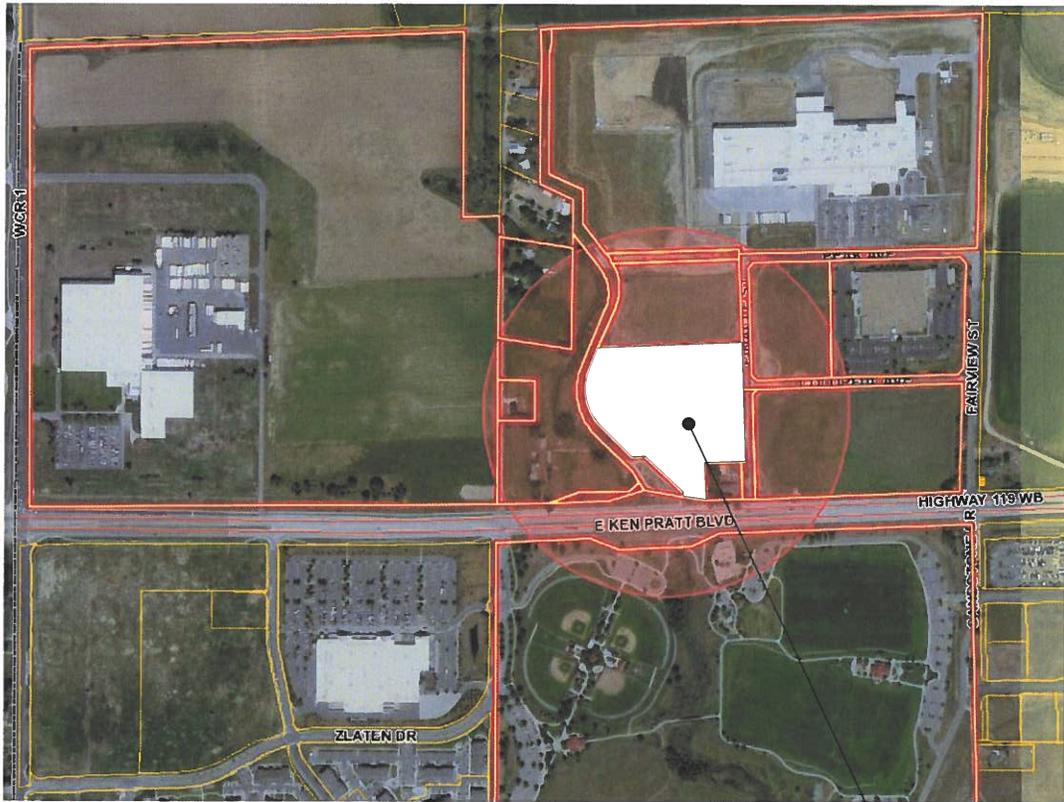
**Phone:** (303) 651-8439  
**Email:** hans.friedel@longmontcolorado.gov

Any person having an interest in the above application may call or email the Planning Division for more information or may review the application materials on file at Planning Division, City of Longmont, Development Services Center, 385 Kimbark Street, Longmont, CO 80501.

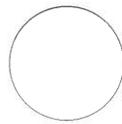
Comments received by 07/16/2021 will be included in the staff report to the applicant. Comments received after the above date will be forwarded to the applicant.

**Project File Number:** 3357-09d





PROJECT LOCATION



## Vicinity Map

SCALE: 1" = 1000'-0"

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# LONGMONT CLIMBING COLLECTIVE

5.21.21

LODESTONE DESIGN GROUP

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Property Address	Owner	Mail Address 1	Mail Address 2	Mail City	State	Subdivision Block and Lot	Longitude	Legal
511 HIGHWAY 119 WELD	ROBLES GREGORIO	1908 MEADOW VALE RD		LONGMONT	CO		- 105.045	25081B PT SE4 6 2 68 BEG 1509.17'N OF SW COR N377' S66D29'E 431.94' S255.54' N82D40'W 399.33' TO BEG (2.87A M/L)
511 HIGHWAY 119 WELD	ROBLES HIDALIA						- 105.045	25081B PT SE4 6 2 68 BEG 1509.17'N OF SW COR N377' S66D29'E 431.94' S255.54' N82D40'W 399.33' TO BEG (2.87A M/L)
509 HIGHWAY 119 WELD	FLOYD ANTHONY J		509 STATE HIGHWAY 119	LONGMONT	CO		- 105.045	25081A PT SE4 6 2 68 BEG 964.97'N OF SW COR N544.2' S82D40'E 399.33' S549.2' N81D58'W 400' M/L TO BEG
509 HIGHWAY 119 WELD	FLOYD RICHARD P						- 105.045	25081A PT SE4 6 2 68 BEG 964.97'N OF SW COR N544.2' S82D40'E 399.33' S549.2' N81D58'W 400' M/L TO BEG
2500 E KEN PRATT BLVD LONGMONT	BOLEN RICHARD H LIVING TRUST		2500 E KEN PRATT BLVD	LONGMONT	CO		- 105.046	LOG 25081C PT SE4 6 2 68 (BOLEN ANNEX) BEG 518.73'N OF SW COR N217.8' E200' S217.8' W200' TO BEG
2700 E KEN PRATT BLVD LONGMONT	745 HIGHWAY 119 LLC	17701 COWAN STE 400		IRVINE	CA		- 105.042	LOG 25082 PT SE4 6-2-68 (ALTERNATIVE HOMES FOR YOUTH ANNEX) BEG 1242'W & 30'N OF SE COR N208' W208' S208' E208' TO BEG & BEG AT NW COR OF ABOVE DESC PARCEL N87D39'E 208' TO NE COR OF PARCEL N02D20'W 10' S87D39'W 208' S02D20'E 10' TO BEG

2100 HIGHWAY 119 LONGMO NT	MC LANE WESTERN INC		PO BOX 6115	TEMPLE	TX		- 105.051	LOG MCL-1 L1 MC LANE ADD ALSO OUTLOT A (1.17 AC. RR R/W) & OUTLOT B (4.45 AC. DITCH R/W)
2950 COLORFU L AVE LONGMO NT	TEBO PARTNERS HIP LLLP	PO BOX T		BOULDER	CO	CONCEPTS DIRECT FG#1 B1 L1	- 105.038	LOG 1CD1-1 L1 BLK1 CONCEPTS DIRECT #1
	SANDSTON E ZLATEN LLC	8755 PORTICO LN		LONGMO NT	CO	CONCEPTS DIRECT FG#1 B1 L2	-105.04	LOG 1CD1-2 L2 BLK1 CONCEPTS DIRECT #1
	LONGMON T CITY OF	350 KIMBARK ST		LONGMO NT	CO	CONCEPTS DIRECT FG#1 B1 L3	- 105.041	PT LOT 3 BLOCK 1 CONCEPTS DIRECT #1 6 2 68 COMM SW4 N02D38W 1329.47 N02D38W 591.33 N87D48 80.71 S42D35W 43.25 S02D38E 560.3 S87D26W 50 TO POB
	HIGHWAY 119 HOLDINGS LLC	17701 COWAN STE 400		IRVINE	CA	CONCEPTS DIRECT FG#1 B1 L3	- 105.039	PT LOT 3 BLOCK 1 CONCEPTS DIRECT #1 6 2 68 EXC COMM SW4 N02D38W 1329.47 N02D38W 591.33 N87D48 80.71 S42D35W 43.25 S02D38E 560.3 S87D26W 50 TO POB
	LONGMON T CITY OF	350 KIMBARK ST		LONGMO NT	CO	HIGHWAY 119 HOLDINGS CONVEYAN CE BNONE L2	- 105.043	PARCEL 2 HIGHWAY 119 HOLDINGS CONVEYANCE
2514 E KEN PRATT BLVD LONGMO NT	HIGHWAY 119 HOLDINGS LLC	17701 COWAN STE 400		IRVINE	CA	HIGHWAY 119 HOLDINGS CONVEYAN CE BNONE L3	- 105.045	PARCEL 3 HIGHWAY 119 HOLDINGS CONVEYANCE

	LONGMONT CITY OF	350 KIMBARK ST		LONGMONT	CO	HIGHWAY 119 HOLDINGS CONVEYANCE BNONE L4	- 105.044	PARCEL 4 HIGHWAY 119 HOLDINGS CONVEYANCE
2900 PEAK AVE LONGMONT	JM SMUCKER LLC	1 STRAWBERRY LN		ORRVILLE	OH	JM SMUCKER LLC PLANT B1 L1	- 105.041	Lot 1 Block 1 JM SMUCKER LLC PLANT
545 HIGHWAY 119 LONGMONT	LONGMONT CITY OF	1100 S SHERMAN STREET		LONGMONT	CO	JM SMUCKER LLC PLANT BNONE LNONE	- 105.043	OUTLOT A JM SMUCKER LLC PLANT
295 PINNACLE ST WELD	12 GUAGE PROPERTIES LLC		502 WEAVER PARK RD UNIT A	LONGMONT	CO	JM SMUCKER LLC PLANT RPLT A B2 L1	- 105.042	LOT 1 BLOCK 2 JM SMUCKER LLC PLANT RPLT A
	LONGMONT CLIMBING COLLECTIVE LLC	33 S PRATT PKWY STE 300		LONGMONT	CO	JM SMUCKER LLC PLANT RPLT A B2 L2	- 105.043	LOT 2 BLOCK 2 JM SMUCKER LLC PLANT RPLT A
	LONGMONT CITY OF	350 KIMBARK ST		LONGMONT	CO		-105.04	LOG NE4 & PT E2SE4 7/ NW4SW4 & PT NW4SW4SW4 8 2 68 (SANDSTONE RANCH ANNEX #1) (2D) LONGMONT 0



CITY OF LONGMONT | Planning Division

## Certificate of Property Posting

I, Hans Friedel, certify that 2 sign(s) was/were posted pursuant to the provisions of the City of Longmont Land Development Code, for the application identified as

Longmont Climbing Collective Conditional Use Site Plan

*Project Name*

for a

Neighborhood Meeting

Notice of Application

Planning and Zoning Commission Public Hearing to be held on \_\_\_\_\_

City Council Public Hearing to be held on \_\_\_\_\_

On the subject property located at

Northwest corner of Highway 119 and Pinnacle St. (Parcel # 131306404002)

*Site Address or Location Description*

*Attach photo(s) of posting on second page below (use additional pages if necessary):*



I certify that the foregoing information is true and correct.

Hans Friedel

*Signature*

6/17/2021

*Date*

# Species and Habitat Conservation Plan – Longmont Climbing Collective

## Prepared for:

The Longmont Climbing Collective  
33 South Platt Parkway, Suite 300  
Longmont, CO 80501

## Prepared by:

Wildland Consultants, Inc.  
1001 Jefferson Drive  
Berthoud, CO 80513

*May 2021, Revised August 2021*

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## **1.0 Introduction and Location**

This Species and Habitat Conservation Plan has been prepared to meet the requirements specified in Subpart 2 (Plan Content) of Part H (Species or Habitat Conservation Plans) of Section 15.05.030 (Habitat & Species Protection) of the City of Longmont Development Standards (City of Longmont 2021).

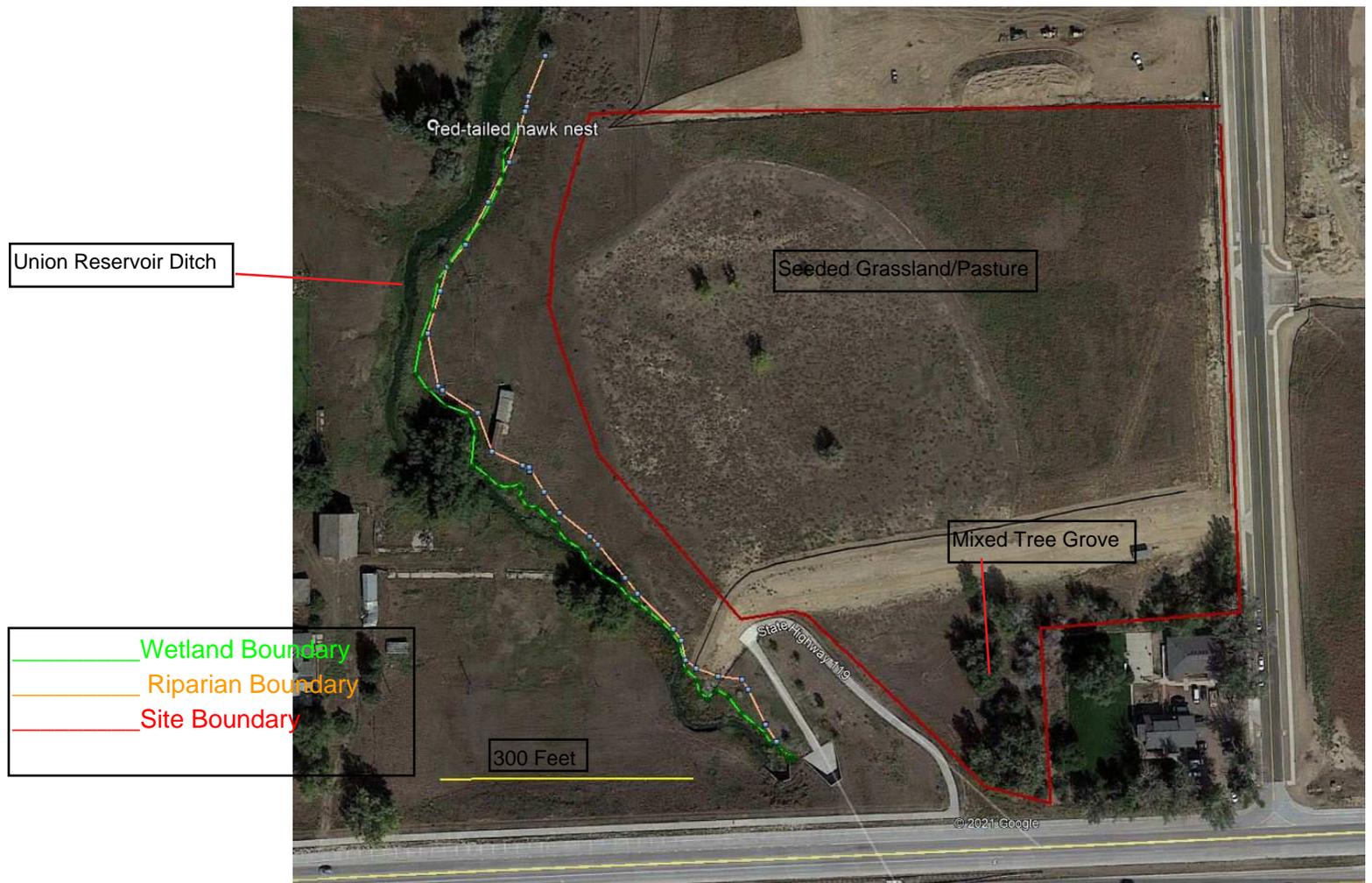
The Plan is based on GIS and Data Review (CDPW 2021, Weld County 2021, City of Longmont 2021) and field reconnaissance by Wildland Consultants, Inc. (WCI) ecologists. The plan was prepared by Eric Berg of WCI. Mr. Berg is a Certified Wildlife Biologist, and Certified Professional Wetland Scientist with over 20 years of experience along the Colorado Front Range.

WCI completed a formal delineation/mapping of the wetlands on the site using Army Corps of Engineers (ACOE) guidelines. WCI completed a mapping of the riparian boundary along east side of the Union Reservoir Ditch bordering the west boundary of the site. The City of Longmont has specific buffer zone recommendations for riparian habitats and wetlands. The City of Longmont has specific buffer zone recommendations for riparian habitats (150 feet).

The Longmont Climbing Collective is located northwest of the intersection of East Ken Pratt Boulevard and Pinnacle Street. Map 1 shows the project area. The report was completed by Eric Berg of WCI. Mr. Berg is a Senior Wildlife Biologist, Certified Professional Wetland Scientist and Certified Wildlife Biologist with over 20 years of experience along the Front Range.

The site is approximately 12 acres in size. Attachment A includes Site Photographs and the Landscape Plan.

Map 1. Site Inventory Map



## 2.0 Existing Site Conditions

### 2.1 Plant Communities and Wetlands

The current development site is dominated by a mix of formerly agricultural land used for irrigated grass hayfields, and non-irrigated grassland pasture. The proposed development area is within the former hayfield area. Map 1 shows the location of plant communities on the site. Attachment A, Site Photos includes representative photos of plant communities.

Dominant site vegetation can be characterized as seeded grassland pasture. Dominant plants include a mix of seeded grass species (smooth brome,

wheatgrass, orchard grass, meadow fescue and other species), and weedy species. There is a mixed grove of trees in very south corner of the site. These include white poplar, Chinese elm, and a few large plains cottonwood trees.

A wetland delineation was completed on the site following Army Corps of Engineers (ACOE) guidelines. There are no wetlands on the site. WCI delineated the wetlands along the east side of the Union Ditch. The wetlands in this area are dominated by reed canarygrass. WCI also mapped the riparian boundary on the east side of the Union Ditch. Map 1 shows the location of wetlands and riparian habitat adjacent to the site along the Union Ditch.

From the City Code a riparian area is defined as: The land areas adjacent to a stream corridor, wetlands or other bodies of water that contain vegetation, habitats and ecosystems associated with bodies of water or dependent on the flow of water in the adjacent stream, wetlands or other water body. A riparian area will vary width depending on the stream, wetland or other body of water.

The site does not support a native plant community. There are no mapped natural areas or natural landmark areas on or near the site. There are no mapped environmental conservation areas (large remaining and restorable forest, grassland, shrubland and agricultural landscapes) on or near the site in nearby Boulder County (Boulder County 2021).

### **3.0 Verification of Ownership**

This information will be provided by the site developer.

## **4.0 Wildlife Use**

### **4.1 Wildlife, Wildlife Corridors**

The seeded pasture on the site provide habitat to agricultural adapted wildlife species. Species expected on the site include those adapted to some human use and disturbance. Species observed or expected on the site include: house mouse,

deer mouse, meadow vole, cottontail rabbit, raccoon, skunk, red fox, coyote, mule deer, white-tailed deer, starling, meadowlark, mourning dove, Eurasian collared dove, English sparrow, a few other passerine bird species; reptiles and amphibians in the area may include bull snake/gopher snake, plains garter snake, plains spadefoot toad and a few other species (Anderson and Righter 1992, Colorado Division of Parks and Wildlife 2021, Hammerson 1999). There are no critical wildlife habitats mapped on or near the project area (CDPW 2021, Boulder County 2021).

Highest species diversity near the project area is expected along the Union Ditch just west of the site. The Union Ditch receives use by waterfowl (mallards), a few waterbirds (great blue heron, snipe and a few other species), wetland adapted mammals (raccoon, striped skunk, raccoon, meadow vole), and amphibians.

The adjacent Union Ditch (and its wetland/riparian habitat) provides a wildlife movement corridor in the area south to the Saint Vrain River.

#### **4.2 Sensitive and High Interest species**

Sensitive and High Interest species with potential to occur in the development area include (USFWS 2021):

Ute ladies' tresses orchid (*Spiranthes diluvialis*). Federally Threatened Species. The wetland and riparian areas long the Union Ditch support potential habitat to the federally listed Ute ladies' tresses orchid (USFWS 1992; Spackman *et al.* 1997). Past surveys near the project area have not located any this species. No known or mapped populations occur near the project area (Boulder County 2021). Annual vegetation control (burning, spraying) decreases the potential for occurrence. It is unlikely that this species is present along the Ditch. The Union Ditch is located to the west of the site. Project construction will not impact wetland/riparian habitat along the ditch.

Colorado butterfly plant (*Gaura neomexicana*). Recently Delisted. The wetland and riparian areas along the Union Ditch support marginal potential habitat to the formerly listed Colorado butterfly plant (USFWS 1992; Spackman *et al.* 1997). Past surveys near the project area have not located any this species. No known or mapped populations occur near the project area (Boulder County 2021). Annual vegetation control (burning, spraying) decreases the potential for occurrence. It is unlikely that this species is present along the Ditch. The Union Ditch is located to the west of the site. Project construction will not impact wetland/riparian habitat along the ditch.

Preble's meadow jumping mouse (PMJM) (*Zapus hudsonius preblei*). Federally Threatened Species. The Union Ditch provides marginal potential habitat to this species, the Ditch does not support the thick riparian habitat preferred by the Preble's mouse. Past trapping for the Preble's mouse on good habitat areas along the Saint Vrain River near the site have been negative. The closest Preble's capture is approximately 8 miles upstream along the Saint Vrain River. There are many captures of the Preble's mouse along the Saint Vrain River to the west of north 75<sup>th</sup> street. Project construction should not impact any potential Preble's meadow jumping mouse habitat.

Bald Eagle (*Haliaeetus leucocephalus*). Formerly listed as Threatened now delisted. The general riparian area along the Saint Vrain River (south of the site) is a foraging area for the Bald Eagle especially during the winter periods. The riparian zone along the Saint Vrain River is mapped as a bald eagle winter concentration area (City of Longmont 2002, CDPW 2021). There is also a bald eagle communal roost mapped along the Saint Vrain 0.62 miles southeast of the site. The site is separated from this roost by East Ken Pratt Boulevard. The development site does not currently support a black-tailed prairie dog colony or other key bald eagle/raptor food source. The nearest bald eagle nest to the site is located 0.74 miles to the south (CDPW 2021). The bald eagle was removed from

the Threatened and Endangered Species List on February 2007. This removed all protection provided by the Endangered Species Act. The bald eagle continues to be protected by the Migratory Bird Treaty Act.

Other Raptors: The open pastures/seeded grassland on the site provide habitat to a variety of raptor species. The most likely to use the area include: red-tailed hawk, Swainson's hawk, northern harrier, American kestrel, sharp-shinned hawk, Coopers hawk and great-horned owl. During a field reconnaissance of the site (May 2021) one red-tailed hawk nest was located in a large crack willow tree on the west side of the Union Ditch (Map 1). This nest is not located on the development site (located approximately 550 feet west of the nearest ground disturbance area).

## **5.0 Potential Adverse Impacts**

Project development will is scheduled to start in September or October of 2021. Site grading and development will impact approximately 4.08 acres. Project activities will result in the permanent conversion of approximately 4.08 acres of seeded grassland/pasture to commercial use in this area. No wetlands or riparian habitat adjacent to the site will be directly impacted. The mixed tree grove in the south section of the site will be removed for installation of a stormwater detention pond.

No impacts are anticipated to rare plants or native/rare plant communities as a result of project construction. There is no habitat for the federally listed Ute ladies' tresses orchid within the disturbance area.

The disturbance area does not provide potential habitat to the Preble's meadow jumping mouse. No direct impacts to potential habitat for the Preble's meadow jumping mouse will occur. The nearby Union Ditch provides marginal/poor potential habitat to the Preble's mouse. Past trapping efforts have not located this

species anywhere near the project area. Impacts to this species are not anticipated.

Project construction is not expected to impact bald eagles. No bald eagle winter roost sites or nest sites are located within 0.5 miles of the site.

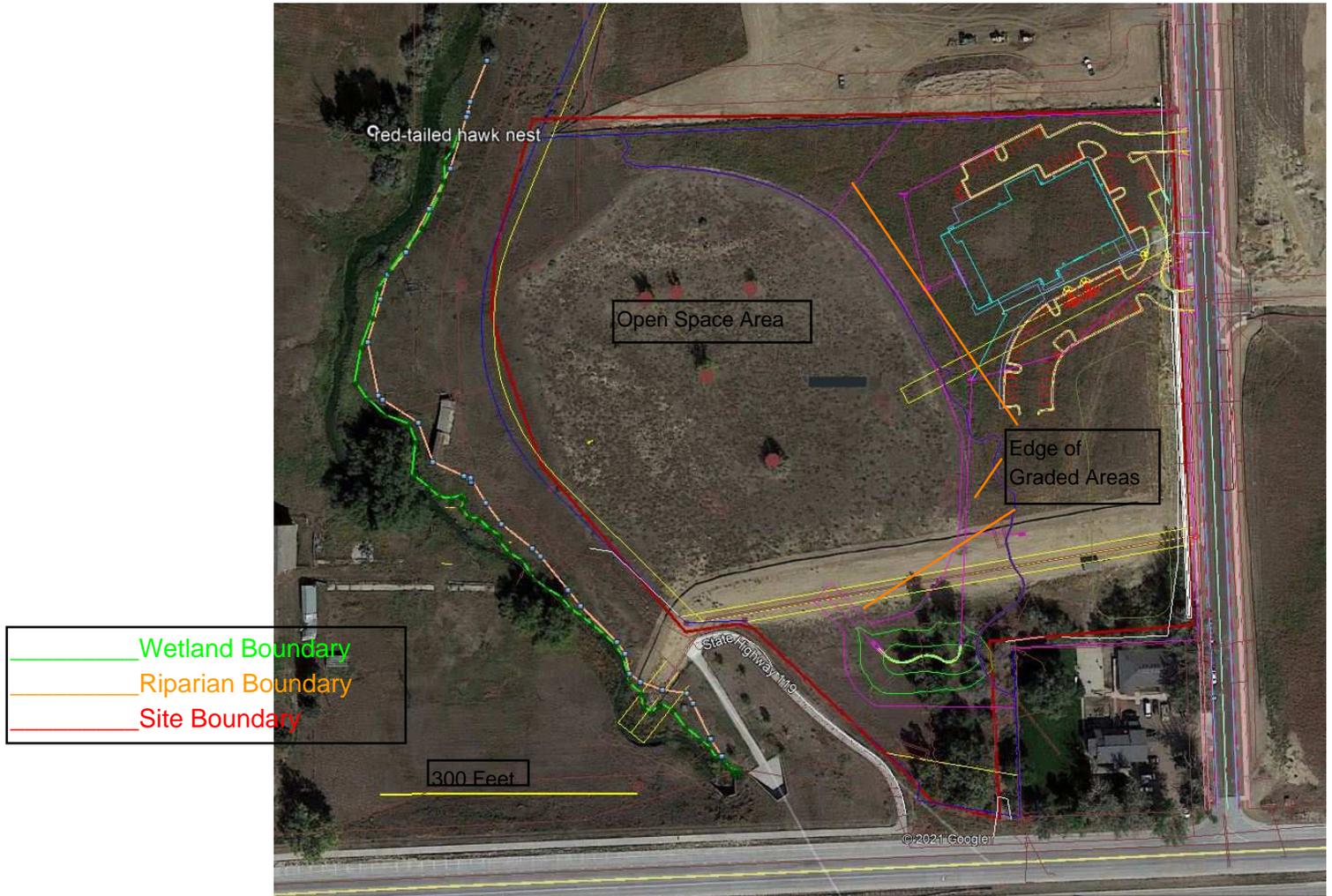
No key, unique or important wildlife habitats will be lost to construction. Project construction will result in the disturbance of approximately 4.08 acres of seeded grassland/pasture. The closest project feature to the riparian and wetland boundary of the Union Ditch is the projects stormwater detention pond (240 feet from the riparian edge). Project buildings are greater than 600 feet from the riparian and wetland boundary of the Union Ditch (Map 2). This setback/buffer far exceed the City of Longmont's buffer guidelines of 150 feet for riparian zones and 50-feet (recommended City of Longmont wetland buffer) away from any wetland boundaries.

Impacts to the red-tailed hawk nest located to the west of the Union Ditch are not anticipated with construction. The nest is located 680 feet west of the nearest building site and 550 feet west of the nearest ground disturbance. Project construction is scheduled to begin outside the nesting season (fall 2021) to prevent disturbance of a potentially active nest. It is possible that this nest will become inactive as development increases in the area, especially development closer to the nest, west of the Union Reservoir Ditch.

Project construction (noise, lights, vehicles, increased human presence) could result in disturbance impacts to wildlife species on the site and wildlife using the adjacent riparian corridor. Animals sensitive to human presence could be temporarily displaced from the area. Long term displacement of wildlife in the area is unlikely. The activities associated with project operation (daily vehicle visits, lights and noise) are anticipated to cause less disturbance than activities associated with an urban housing development (traffic, noise, pets, human

presence). Proposed project buffers should provide protection for the riparian/wetland corridor along the Union Ditch that is consistent with City of Longmont objectives.

Map 2. Site Plan and Site Resources



## 6.0 Proposed Mitigation and Enhancement Measures

To help minimize impacts to from project development the following measures are recommended:

- 7.92 acres of open space will be preserved on the site east of the Union Ditch. All existing shrubs and trees in this open space will remain. No annual maintenance (mowing) of the open space will occur except for annual control of noxious weeds.

- Additional plantings (native trees and shrubs, native grassland seed mixes) will be made over most of the landscaped area of the site (see Attachment A, Landscape Plan). This would improve wildlife habitat, and provide additional screening (noise and visual) to the large open space area. Non-irrigated landscaped areas will be seeded with a native dryland grass seed mix.
- Lighting will be designed to minimize light pollution into the riparian zone.
- All trash will be contained in standard City approved trash containers in walled/fenced collection areas to minimize wildlife access to trash.
- Project construction will follow best management practices (BMP's) outlined in a Stormwater Management Plan for the project. A Stormwater General Permit will be obtained from Colorado Department of Health. Following this plan and BMP's will reduce the potential for sedimentation into adjacent riparian zones and wetlands, reduce offsite erosion and sedimentation and reduce dust production during construction.
- Red-Tailed Hawk nest mitigation: An active (2021) red-tailed hawk nest was located approximately 550 feet from the edge of proposed grading off of the site, west of the Union Reservoir Ditch. The project developer is waiting for guidance from the Colorado Division of Parks and Wildlife (CDPW) regarding this nest. A significant open space corridor (7.92 acres) is proposed along the Union Reservoir Ditch to protect potential future nesting habitat and existing raptor foraging habitat. To prevent violations of the Migratory Bird Treaty Act the developer is planning to start project development before the active red-tailed hawk nesting season (prior to mid February). Starting construction/grading prior to active nesting will prevent disturbance of an active nest. The red-tailed hawk pair may continue to nest on the site even with ongoing development activities, or as development activities increase in the area the nest may become inactive.
- Nesting Bird Mitigation:
  - a. "The developer shall provide a nest survey at least one week (7 days) before any stormwater construction activity permit (SCAP) is issued for the property if construction is proposed during the nesting season (March 1-August 31)."
  - b. "The developer shall follow all nesting bird mitigation measures recommended by Colorado Parks and Wildlife should nesting birds be discovered during the nest survey."

Considering trees on and adjacent to the property and shrubs and grasslands on the property, the developer should follow these bird nest mitigation procedures:

- c. Avoidance – To the extent practicable, conduct habitat-disturbing activities (e.g., tree removal, grading, scraping, and grubbing) September 1 through March 1, outside of the nesting season.

- d. Habitat Manipulation/Removal – If work activities are planned during the nesting season (March 1 - August 31), remove or alter vegetation within construction footprints and road right-of-ways prior to March 1 to discourage nesting within areas scheduled for summer construction. Note that some early nesting species such as hawks and owls begin nesting in February and March and may require specific clearance surveys or avoidance activities. Removal or alteration of vegetation will also discourage nesting in areas adjacent to the construction footprints and encourage birds to nest in more suitable habitat outside of the project area. Vegetation-altering activities can include mowing and/or trimming to a height of four (4) inches or less, grazing vegetation to a height of four (4) inches or less, disking, or herbicide application. The most appropriate treatment will depend on site conditions and level of potential nesting activity.
- e. Habitat Maintenance – Once vegetation has been removed and/or trimmed, appropriate measures (i.e., repeated mowing/trimming) should be implemented to assure vegetation does not grow to more than four (4) inches high.
- f. Clearance Surveys – If the avoidance described above cannot be completed, preconstruction clearance surveys shall be conducted during the nesting season by a qualified biologist to identify any active nests and implement avoidance measures. Clearance surveys should be conducted less than 1 week prior to the planned disturbance. Clearance surveys for mowed areas should be conducted during the nesting season to ensure no ground-nesting species have moved in.
- g. Nest Buffers – if active nests of song bird species are found appropriate nest buffers will be maintained until the nest is no longer active.

## **7.0 Implementation, Maintenance and Monitoring Plan**

All proposed mitigation, plantings and landscaping will be required to meet City of Longmont guidelines and development approval guidelines. Trees, shrubs, and seeded areas will be required to be sustainable and survive. Annual monitoring will be completed for landscaped and seeded areas. Trees and shrubs will be replanted if needed, seeded areas will be reseeded if desirable plant cover is less than 75%, and annual control of noxious weeds will meet City of Longmont and Weld County requirements.

## **8.0 Competence of the Applicant**

The project developer will be responsible for all landscaping, plantings, and mitigation measures. Applicant competence information will be provided by the project planner.

WCI has been in business since 1995 and has completed over 200 ecological reviews for development projects along the Front Range.

## **9.0 References**

Armstrong, D.M., M.E. Bakeman, N.W. Clippinger, A. Deans, M. Marguiles, C.A. Meaney, C. Miller, M. O'Shea-Stone, T.R. Ryon, and M. Sanders. 1997. Report on Habitat Findings of the Preble's Meadow Jumping Mouse. Presented to the U.S. Fish and Wildlife Service, and Colorado Division of Wildlife.

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National Wetland Inventory Mapping. 2021. U.S. Fish and Wildlife Service, NWI GIS Data.

Spackman, S., B. Jennings, J. Coles, C. Dawson, M. Minton, A. Kratz, and C. Spurrier. 1997. Colorado Rare Plant Field Guide. Colorado Natural Heritage Program.

Weld County. 2021. GIS and Mapping.

Attachment A: Site Photographs, Landscape Plan



Photo 1. View to the south from the northwest corner of property.



Photo 2. View to the east from the northwest corner of property.



Photo 3. View to the south from the northeast corner of property.



Photo 4. View to the northwest from the southwest corner of property.

# SHEET INDEX

L-0	LANDSCAPE REQUIREMENTS, TREE PRESERVATION AND PLANT SCHEDULE
L-1	LANDSCAPE PLAN - NORTH
L-2	LANDSCAPE PLAN - SOUTH
L-3	LANDSCAPE DETAILS AND NOTES

# LANDSCAPE AREA REQUIREMENTS

REGULATED AREA	SIZE (LENGTH OR AREA AS APPLICABLE)	NUMBER OF TREES AND SHRUBS REQUIRED PER REGULATED AREA	NUMBER OF TREES AND SHRUBS PROVIDED PER REGULATED AREA
PINNACLE STREET BUFFER (20' WIDTH) 1 TREE AND 5 SHRUBS PER 750 SF	11,760 SF	16 TREES AND 78 SHRUBS	16 TREES AND 78 SHRUBS
PINNACLE STREET ROW 1 TREE PER 40 LF	588 LF	15 TREES	15 TREES
DETENTION / WATER QUALITY AREA 1 TREE AND 5 SHRUBS PER 50 LF OF PERIMETER	535 LF	11 TREES AND 54 SHRUBS	11 TREES AND 54 SHRUBS
PARKING LOT BUFFER - ABUTTING NORTH PROPERTY 1 TREE AND 5 SHRUBS PER 30 LF	100 LF	3 TREES AND 17 SHRUBS	3 TREES AND 17 SHRUBS
PARKING LOT BUFFER - ABUTTING PINNACLE STREET 1 TREE AND 5 SHRUBS PER 30 LF	45 LF	1 TREES AND 8 SHRUBS	1 TREE AND 8 SHRUBS

# PLANT SCHEDULE

QTY.	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT & WIDTH
<b>DECIDUOUS TREES</b>					
6	AC MI	ACER MIYABEI 'MORTON'	STATE STREET MIYABEI MAPLE	2" B&B	40' X 20'
6	AC NE	ACER NEGUNDO 'SENSATION'	SENSATION BOXELDER MAPLE	2" B&B	30' X 20'
3	CA SP	CATALPA SPECIOSA	WESTERN CATALPA	2" B&B	50' X 40'
7	CE OC	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	2" B&B	55' X 45'
6	GY DI	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	2" B&B	60' X 45'
3	UL FR	ULMUS 'FRONTIER'	FRONTIER ELM	2" B&B	35' X 25'
4	QU BU	QUERCUS BUCKLEYI	TEXAS RED OAK	2" B&B	55' X 35'
<b>ORNAMENTAL TREES</b>					
4	AC GR	ACER GRANDIDENTATUM	WASATCH BIGTOOTH MAPLE	1 1/2" B&B	25' X 20'
<b>EVERGREEN TREES</b>					
2	JU SC	JUNIPERUS SCOPULORUM 'WHICHITA BLUE'	ROCKY MOUNTAIN JUNIPER	6" HT.	20' X 8'
3	PI PU	PICEA PUNGENS	COLORADO BLUE SPRUCE	6" HT.	70' X 30'
2	PI ED	PINUS EDULIS	PINON PINE	6" HT.	25' X 15'
4	PI PO	PINUS PONDEROSA	PONDEROSA PINE	6" HT.	65' X 30'
3	PI ST	PINUS STROBIFORMIS	SOUTHWESTERN WHITE PINE	6" HT.	45' X 25'
<b>DECIDUOUS SHRUBS</b>					
12	AR TR	ARTEMISIA TRIDENTATA	BIG WESTERN SAGE	#5 CONT.	6' X 6'
28	CA CL	CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	#5 CONT.	4' X 4'
27	CA DK	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT BLUE MIST SPIREA	#5 CONT.	4' X 4'
25	CH NA	CHRYSOTHAMNUS NAUSEOSUS (BLUE)	TALL BLUE RABBITBRUSH	#5 CONT.	6' X 6'
28	PE LS	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	#5 CONT.	3' X 3'
32	PE AT	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#5 CONT.	4' X 4'
14	PR BE	PRUNUS BESSEYI 'PAWNEE BUTTES'	CREEPING WESTERN SAND CHERRY	#5 CONT.	30" X 4'
8	PR PU	PRUNUS PUMILA BESSEYI	WESTERN SAND CHERRY	#5 CONT.	6' X 6'
19	RH AR	RHUS AROMATICA 'GRO-LOW'	DWARF FRAGRANT SUMAC	#5 CONT.	3' X 6'
9	RH AA	RHUS TRILOBATA 'AUTUMN AMBER'	AUTUMN AMBER THREE LEAF SUMAC	#5 CONT.	18" X 6'
12	RH TR	RHUS TRILOBATA	THREE-LEAF SUMAC	#5 CONT.	6' X 6'
<b>EVERGREEN SHRUBS</b>					
13	AR CH	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN'	CHIEFTAIN MANZANITA	#5 CONT.	2' X 6'
15	AR PA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	#5 CONT.	18" X 4'
11	EP EQ	EPHEDRA EQUISSETINA	BLUE STEM JOINT FIR	#5 CONT.	4' X 5'
9	JU SQ	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	#5 CONT.	18" X 3'
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>					
34	AC MO	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	#1 CONT.	24" X 24"
52	BO GR	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA GRASS	#1 CONT.	3' X 24"
17	PA VI	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH RED SWITCH GRASS	#1 CONT.	4' X 18"

NATIVE SEED MIX - IRRIGATED (PER CITY OF LONGMONT)	
BLUE GRAMA (ALMA, BAD RIVER, OR HACHITA VARIETY)	0.40
BUFFALOGRASS	5.83
INLAND SALTGRASS	0.42
SLENDER WHEATGRASS	1.37
SANDBERG BLUEGRASS	0.82
ALKALIGRASS	0.27
<b>TOTALS</b>	<b>9.11</b>

NATIVE SEED MIX - NON-IRRIGATED (PER CITY OF LONGMONT)	
BLUE GRAMA (ALMA, BAD RIVER, OR HACHITA VARIETY)	0.40
BUFFALOGRASS	5.83
INLAND SALTGRASS	0.42
SLENDER WHEATGRASS	1.37
SANDBERG BLUEGRASS	0.82
ALKALIGRASS	0.27
<b>TOTALS</b>	<b>9.11</b>

TURF SOD (PER CITY OF LONGMONT)	
BARRINGTON TALL FESCUE	40%
LABARINTH RTF TALL FESCUE	40%
BARRISTER KENTUCKY BLUEGRASS	20%

# TAP SIZING STATEMENT

PROJECT LANDSCAPE QUANTITIES:

TOTAL IRRIGATED LANDSCAPE AREA = 20,287 SF  
TOTAL NON-IRRIGATED LANDSCAPE AREA = 148,833 SF

PARKS SECTION 603.03 1. A. 1.

THE TAP SIZING CALCULATION SHALL USE THE FOLLOWING FORMULA: TOTAL SQUARE FEET OF IRRIGATED AREA FROM THAT TAP (INCLUDING FUTURE BUILD-OUT IF APPLICABLE) DIVIDED BY EIGHT (8), RESULT TIMES 7.48 = GALLONS PER WEEK. TAKE GALLONS PER WEEK AND DIVIDE BY FIVE (5) DAYS PER WEEK, DIVIDE THAT ANSWER BY SEVEN (7) HOURS PER DAY, AND DIVIDE THAT ANSWER BY SIXTY (60) TO = GALLONS PER MINUTE. TAP SIZE SHOULD THEN BE THE SAME AS THE SMALLEST COPPER PIPE (TYPE K) THAT WILL NOT EXCEED SEVEN (7) FEET PER SECOND. THE NUMBER OF DAYS PER WEEK AND HOURS PER DAY ARE SOMEWHAT FLEXIBLE, BUT THOSE GIVEN ABOVE SHOULD BE THE TYPICAL. (IF THE AREAS INCLUDE TEMPORARY IRRIGATION OF DRYLAND TURF, CALL PARKS AND FORESTRY FOR ADJUSTMENTS TO THIS FORMULA).

EQUATION USED FOR TOTAL IRRIGATED SF / 8 = ? \* 7.48 = ? / 5 = ? / 7 = ? / 60 = ? GPM

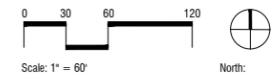
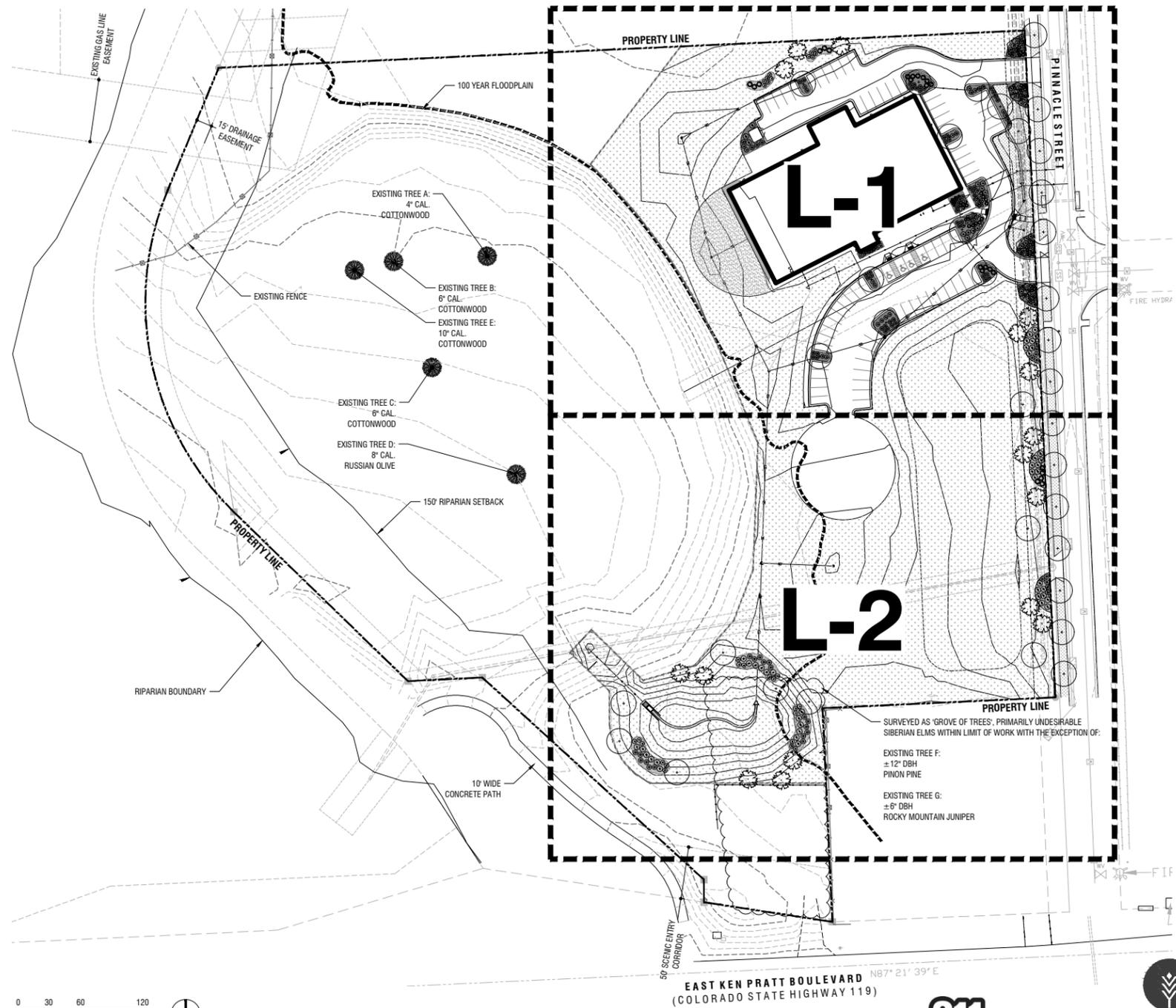
CALCULATION FOR IRRIGATION DEMAND 20,287/8=2,535 2,535\*7.48=18,968 18,968/5=3,793 3,793/7=541 541/60=9.03 GPM

WITH 8.5 HOUR WATERING WINDOW  
TOTAL IRRIGATED SF / 8 = ? \* 7.48 = ? / 5 = ? / 8.5 = ? / 60 = ? GPM

20,287/8=2,535 2,535\*7.48=18,968 18,968/5=3,793 3,793/8.5=446 446/60=7.43 GPM

A 3/4-INCH SERVICE TEE (9 GPM) WILL SERVE THE LANDSCAPE AREA AND WILL BE CONNECTED VIA A TEE OFF THE MAIN WATER SERVICE TO THE PROJECT.

# KEY PLAN AND TREE PRESERVATION PLAN



# TREE MITIGATION REQUIREMENTS

EXISTING TREES	CAL. INCHES REQUIRED	CAL. INCHES PROVIDED
DESIRABLE TREES TO BE PRESERVED (100 YEAR FLOODPLAIN): A. 4" CAL. COTTONWOOD B. 6" CAL. COTTONWOOD C. 6" CAL. COTTONWOOD D. 8" CAL. RUSSIAN OLIVE E. 10" CAL. COTTONWOOD	0	0
DESIRABLE TREES TO BE TRANSPLANTED (GROVE OF TREES): F. ±12" DBH PINON PINE G. ±6" DBH ROCKY MOUNTAIN JUNIPER	0	0

NEW CONSTRUCTION  
**LONGMONT CLIMBING**  
**COLLECTIVE**  
 33 S. PRATT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #:	19-061	
DRAWING TITLE:	LANDSCAPE REQUIREMENTS, TREE PRESERVATION AND PLANT SCHEDULE	
DATE:	6.2.21	
DRAWN:	CHECKED:	
ISSUE RECORD	DATE	
Project Status		
#	REVISION	DATE

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LODESTONE DESIGN GROUP  
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 FREDERICK, CO 80530  
 303-800-8633  
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 www.lodestonegroup.com



**L-0**



WILDREY DESIGN LLC  
 LANDSCAPE ARCHITECTURE  
 802 SENECA CT  
 LAFAYETTE, COLORADO 80026  
 303 325 1461



August 2, 2021

Bryan Hylenski  
Longmont Climbing Collective  
33 S Pratt Parkway  
Longmont, CO 80501

**RE: Longmont Climbing Gym / Traffic Generation Analysis  
Longmont, Colorado**

Dear Bryan,

SM ROCHA, LLC is pleased to provide traffic generation information for the development entitled Longmont Climbing Gym. This development is located on the west side of Pinnacle Street, north of Kenn Pratt Boulevard (State Highway 119) in Longmont, Colorado.

This information has been revised to address City Staff review comments dated July 19, 2021, regarding additional trip distribution information.

The intent of this analysis is to present traffic volumes likely generated by the proposed development and consider potential impacts to the adjacent roadway network.

The following is a summary of analysis results.

### **Site Description and Access**

Land for the development is currently vacant and surrounded by a mix of light industrial, residential, recreational, and open space land uses. The proposed development is understood to entail the new construction of an approximate 20,000 square foot rock climbing gym.

Proposed access to the development is provided at the following locations: two full-movement accesses on Pinnacle Street (referred to as Access A and Access B).

General site and access locations are shown on Figure 1.

A conceptual site plan, as prepared by Lodestone Design Group, is shown on Figure 2. This plan is provided for illustrative purposes.



Not to Scale



**LONGMONT CLIMBING GYM**  
Traffic Generation Analysis

**Figure 1**  
**SITE LOCATION**

**SM ROCHA, LLC**  
Traffic and Transportation Consultants

August 2021  
Page 2





## Vehicle Trip Generation

Standard traffic generation characteristics compiled by the Institute of Transportation Engineers (ITE) in their report entitled Trip Generation Manual, 10<sup>th</sup> Edition, were applied to the proposed land use in order to estimate the average daily traffic (ADT) and peak hour vehicle trips. A vehicle trip is defined as a one-way vehicle movement from point of origin to point of destination.

Table 1 presents average trip generation rates for the development area proposed. Use of average trip generation rates presents a conservative analysis. ITE land use code 434 (Rock Climbing Gym) was used for analysis because of its best fit to the proposed land use.

It is noted that ITE does not provide data for average daily (24-Hour) trip generation for a Rock Climbing Gym. Therefore, in order to estimate potential average daily traffic volumes generated by the proposed development, a 24-hour trip generation rate was assumed based on typical relationships between peak hour trip generation and average daily trip generation. This relationship assumes that AM peak hour volumes represent approximately eight percent of total daily trips.

**Table 1 – Trip Generation Rates**

ITE CODE	LAND USE	UNIT	TRIP GENERATION RATES						
			24 HOUR	AM PEAK HOUR			PM PEAK HOUR		
				ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
434	Rock Climbing Gym	KSF	17.50	0.46	0.94	1.40	0.93	0.71	1.64

Key: KSF = Thousand Square Feet Gross Floor Area.

Note: All data and calculations above are subject to being rounded to nearest value.

Table 2 summarizes the projected average daily traffic (ADT) and peak hour traffic volumes likely generated by the land use area proposed.

**Table 2 – Trip Generation Summary**

ITE CODE	LAND USE	SIZE	TOTAL TRIPS GENERATED						
			24 HOUR	AM PEAK HOUR			PM PEAK HOUR		
				ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
434	Rock Climbing Gym	20.0 KSF	350	9	19	28	19	14	33
<i>Total:</i>			350	9	19	28	19	14	33

Note: All data and calculations above are subject to being rounded to nearest value.

As Table 2 shows, the development area has the potential to generate approximately 350 daily trips with 28 of those occurring during the morning peak hour and 33 during the afternoon peak hour.

## **Adjustments to Trip Generation Rates**

It is probable that the proximity of regional pedestrian and bike trails could provide a reduction in vehicle trip generation for the proposed recreational development. However, an exact vehicle trip reduction cannot be determined at this time. Moreover, a development of this type is not likely to attract pass-by trips from the adjacent roadway system. As such, no trip reduction was taken in this study.

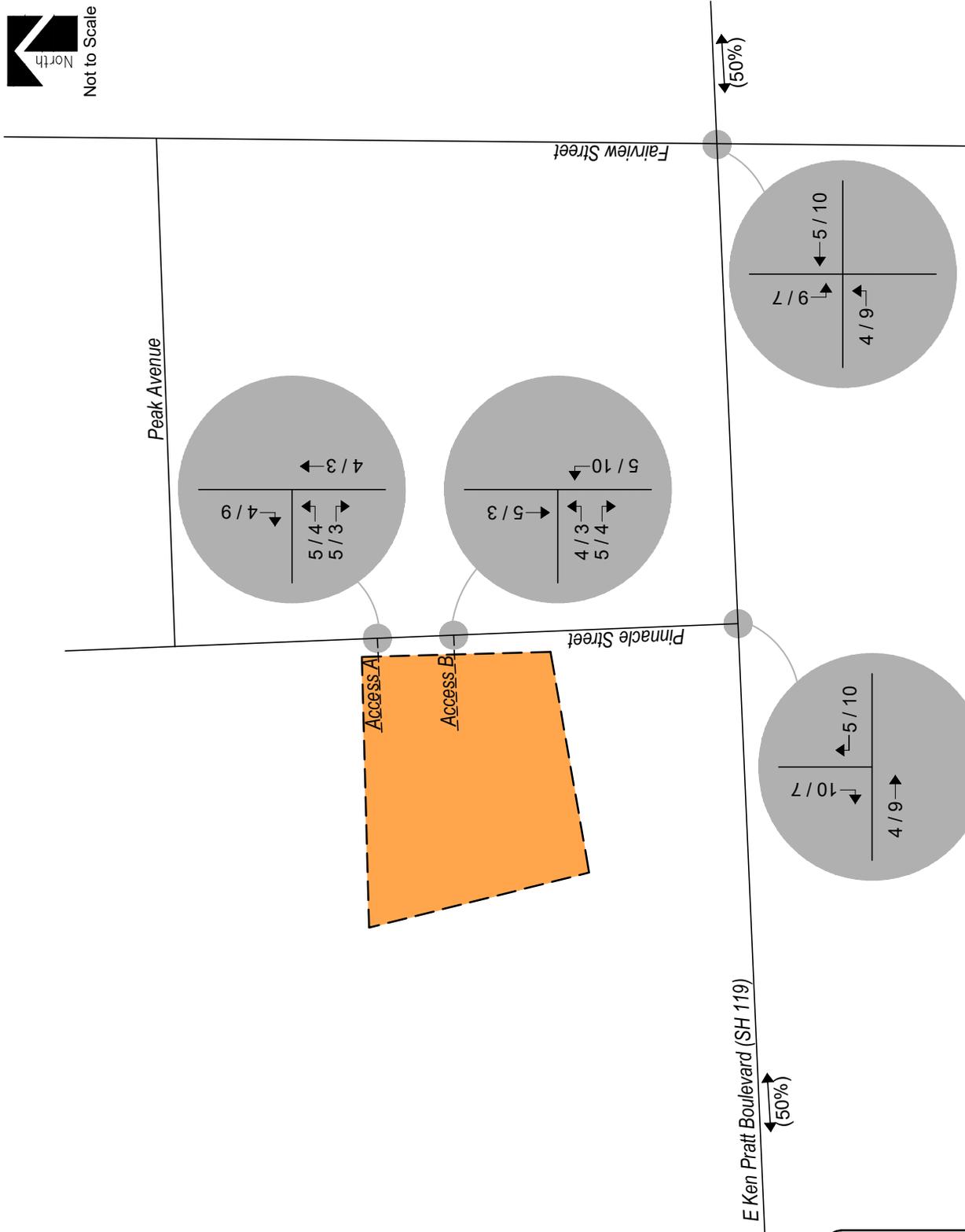
## **Trip Generation Distribution and Assignment**

Overall directional distribution of site-generated traffic was determined based on existing area land uses, the site location within the City, and the available roadway network. Site-generated traffic is anticipated to be distributed through each proposed access. Distribution along E Ken Pratt Boulevard is general and assumed to be 50 percent to/from the east and 50 percent to/from the west.

Traffic assignment is how the site-generated and distributed trips are expected to be loaded on the roadway network. Applying assumed trip distribution patterns to site-generated traffic provides the peak hour trip volume assignments for proposed accesses. Figure 3 uses the trip generation volumes from Table 2 and denotes projected traffic volumes at each proposed access and adjacent intersections.



Not to Scale



**LEGEND**

-  Study Intersection Volumes
-  Development Site

Figure 3  
SITE DEVELOPMENT DISTRIBUTION  
(%) : Overall

SITE-GENERATED  
AM / PM Peak Hour

**LONGMONT CLIMBING GYM**  
Traffic Generation Analysis



**SM ROCHA, LLC**  
Traffic and Transportation Consultants

## Development Impacts

As Tables 2 and 3 show, there is an increase in peak hour traffic volumes anticipated for the proposed development, however this increase is considered minor. These minor volumes are not likely to negatively impact operations of Pinnacle Street or other adjacent roadways or intersections.

## Conclusion

This analysis assessed traffic generation for the Longmont Climbing Gym development and potential impacts to the adjacent roadway network.

It is our professional opinion that the proposed site-generated traffic is expected to create no negative impact to traffic operations for the surrounding roadway network and proposed site accesses. Analysis of site-generated traffic concludes that proposed development traffic volumes are minor.

We trust that our findings will assist in the planning and approval of the Longmont Climbing Gym development. Please contact us should further assistance be needed.

Sincerely,

### SM ROCHA, LLC

*Traffic and Transportation Consultants*



Stephen Simon, EIT  
Traffic Engineer



Adam Maxwell, PE, PTOE  
Senior Traffic Engineer

Planning and Development Services  
Development Services Center  
Longmont, CO 80501  
(303) 651-8330 | Fax# (303) 651-8896  
Email: [longmont.planning@longmontcolorado.gov](mailto:longmont.planning@longmontcolorado.gov)  
Website: <https://longmontcolorado.gov/>



## Development Proposal Referral Letter

**Date:** 06/17/2021  
**Project:** Longmont Climbing Collective Conditional Use Site Plan  
**Location:** Northwest corner of Highway 119 and Pinnacle Street (Parcel # 131306404002)

**Proposal:** A Conditional Use Site Plan to propose a new health facility or club located in Block 2, Lot 2 of the J.M Smuckers LLC Plant Replat A subdivision. The new health facility or club is a Conditional Use in the N-PE zoning district.

**Existing Use:** Undeveloped Property

**Zoning:** N-PE

### Surrounding land uses and zoning

**North:** N-PE

**South:** N-PF (Sandstone Ranch Community Park)

**East:** N-PE

**West:** N-PE

**Comprehensive Plan Specifications:** Primary Employment

**Property Owner:** Longmont Climbing Collective LLC - Bryan Hylenski

**Applicant:**

**Applicant Contact:** Jeff Sambeek

**Address:** 206 5th Street  
Suite 200  
Frederick, CO 80530

**Phone:** 303-800-8633

**Email:** [jeff@lodestonedesign.com](mailto:jeff@lodestonedesign.com)

**City Staff Planner:** Hans Friedel

**Phone:** (303) 651-8439  
**Email:** hans.friedel@longmontcolorado.gov

**Comment Due Date:** 07/16/2021

**Comments returned to the Planning Division by the indicated deadline will be included in the staff analysis and presented to the applicant in the staff report. Comments returned after the deadline will be forwarded to the applicant.**

**Project File Number:** 3357-09d

**Referral agencies (The following agencies have been sent referral on this project):**

CenturyLink

- Christopher.Janoski@centurylink.com
- Dennis.odell@centurylink.com

Xcel Energy

- donna.l.george@xcelenergy.com (primary)
- William.a.schulz@xcelenergy.com (backup)

Comcast

- don\_kapperman@comcast.com

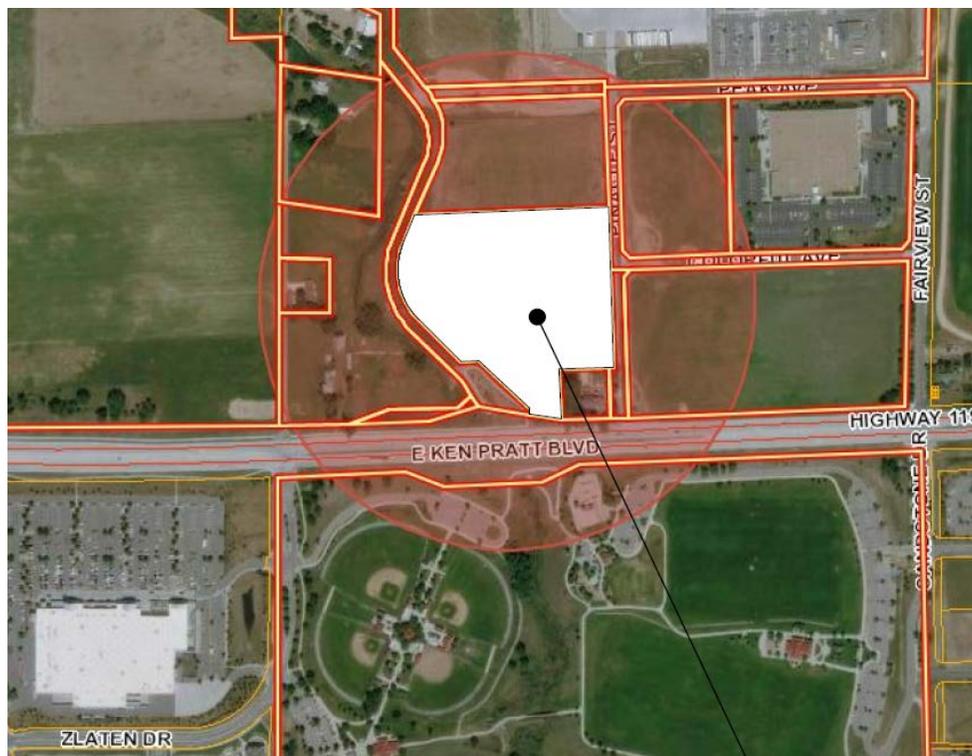
Registered Neighborhood Group(s)

- Determined by neighborhood resource coordinator

Colorado Parks and Wildlife

US Fish and Wildlife Service

US Army Corps of Engineers





**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

July 16, 2021

City of Longmont Planning and Development Services  
385 Kimbark Street - PO Box 1348  
Longmont, CO 80501

Attn: Hans Friedel

**Re: Longmont Climbing Collective, Case # 3357-09d**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the conditional use site plan for **Longmont Climbing Collective**. The property owner/developer/contractor must complete the application process for any new natural gas service via [xcelenergy.com/InstallAndConnect](http://xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

If additional easements need to be acquired by separate PSCo document, a Right-of-Way Agent will need to be contacted.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado / Xcel Energy  
Office: 303-571-3306 – Email: [donna.l.george@xcelenergy.com](mailto:donna.l.george@xcelenergy.com)

Longmont Climbing Collective – Vicinity Map



# CONDITIONAL USE SITE PLAN LONGMONT CLIMBING COLLECTIVE

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 2 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF WELD, STATE OF COLORADO

## LEGAL DESCRIPTION:

A PLAT OF A PARCEL OF LAND IN THE CITY OF LONGMONT, COLORADO, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 2, BLOCK 1, J.M. SMUCKERS LLC PLANT SUBDIVISION, CITY OF LONGMONT, COUNTY OF WELD, STATE OF COLORADO.

## PROPERTY OWNER ACKNOWLEDGEMENT

LONGMONT CLIMBING COLLECTIVE LLC, BEING THE OWNER OF THE LAND DESCRIBED HEREIN HAVE CAUSED SAID LAND TO BE PLANNED THIS PROPERTY UNDER THE NAME OF LONGMONT CLIMBING COLLECTIVE. ALL CONDITIONS, TERMS, AND SPECIFICATIONS DESIGNATED OR DESCRIBED ON THIS DOCUMENT SHALL BE BINDING ON THE OWNERS, THEIR HEIRS, SUCCESSORS AND ASSIGNS.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

BRYAN HYLENSKI, FOUNDER & CEO

## NOTARY CERTIFICATE

STATE OF COLORADO

COUNTY OF \_\_\_\_\_

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

ADDRESS OF NOTARY: \_\_\_\_\_

## MORTGAGEE'S CONSENT

THE UNDERSIGNED LONGMONT CLIMBING COLLECTIVE LLC, AS A BENEFICIARY OR A DEED OF TRUST WHICH CONSTITUTES A LIEN UPON THE DECLARANT'S PROPERTY, RECORDED AT RECEPTION NUMBER \_\_\_\_\_ COUNTY CLERK AND RECORDER, CONSENTS TO THE CONDITIONS, TERMS AND SPECIFICATIONS DESIGNATED OR DESCRIBED ON THIS SITE/DEVELOPMENT PLAN.

NAME OF BENEFICIARY \_\_\_\_\_

SIGNATURE \_\_\_\_\_

TITLE \_\_\_\_\_

## NOTARY CERTIFICATE

STATE OF COLORADO

COUNTY OF \_\_\_\_\_

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

ADDRESS OF NOTARY: \_\_\_\_\_

## MAYOR'S CERTIFICATE

I HEREBY CERTIFY A SITE SPECIFIC DEVELOPMENT PLAN FOR THE ABOVE DESCRIBED PROPERTY WAS APPROVED BY THE CITY OF LONGMONT, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ ESTABLISHING A VESTED PROPERTY RIGHT IN THIS LONGMONT CLIMBING COLLECTIVE, SUBJECT TO THE TERMS AND CONDITIONS OF LONGMONT MUNICIPAL CODE AND THE COLORADO REVISED STATUTES, AND SUCH VESTED RIGHT SHALL CEASE AND TERMINATE THREE YEARS FROM THE ABOVE APPROVAL DATE.

MAYOR, CITY OF LONGMONT

ATTEST

SEAL

## LAND USE TABLE

LOT #	LOT AREA		BUILDING S.F.	PARKING S.F.	DRIVES S.F.	SIDEWALK S.F.
	S.F.	ACRES				
B2, L2	531,415	12.199	25,179	11,718	24,027	7,826

## PARKING SUMMARY

OUTDOOR FACILITY - MAX=0.3 PER OCCUPANCY CAPACITY  
OCCUPANTS = 446  
MAXIMUM ALLOWED = 133

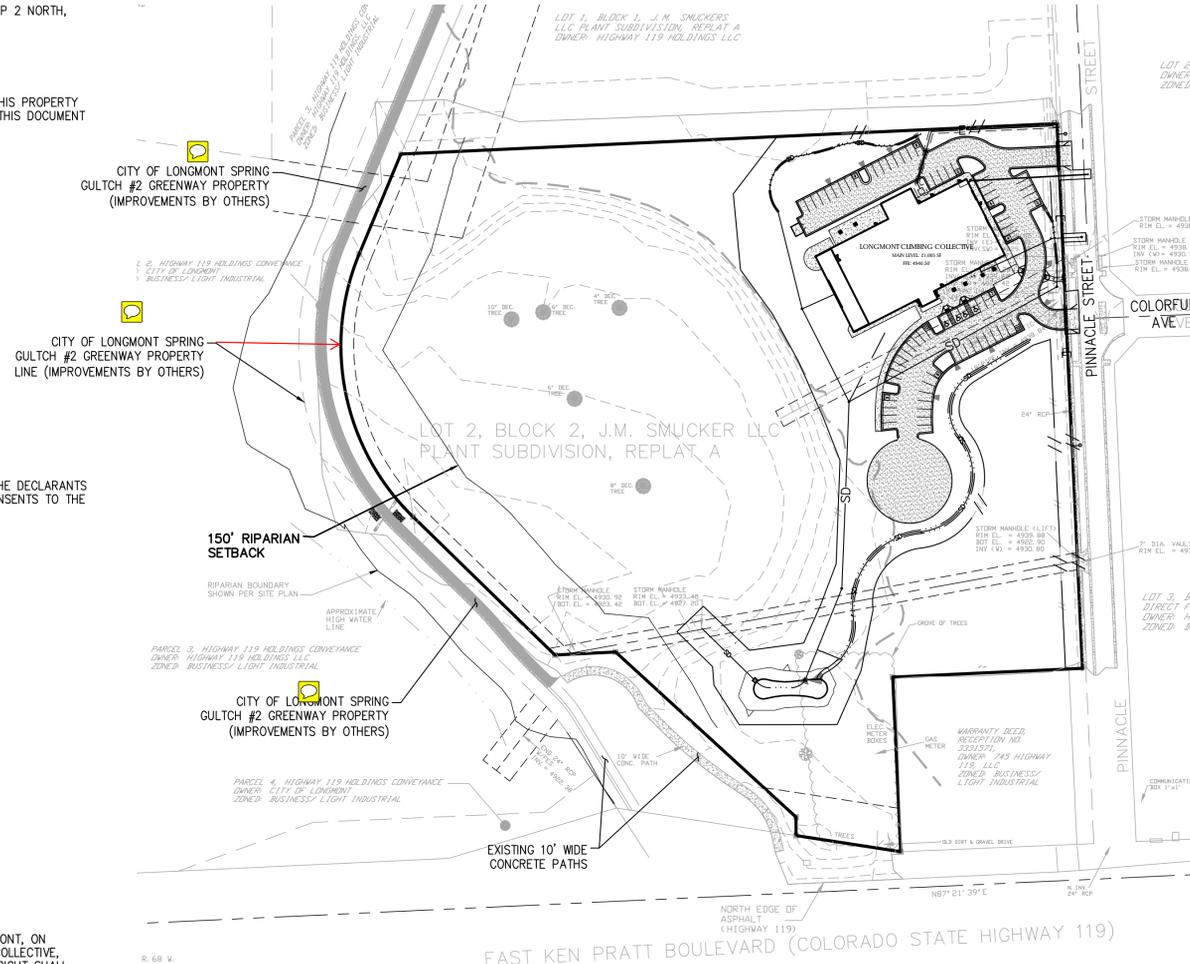
INDOOR FACILITY - MAX=5 SPACES PER 1,000 SF OF FLOOR AREA  
FLOOR AREA = 21,005  
MAXIMUM ALLOWED = 105

PROVIDED VEHICLE PARKING SPACES = 76 SPACES < MAXIMUM ALLOWABLE  
4 ADA SPACES ARE PROVIDED

BICYCLE SPACES - 76 VEHICLE SPACES \* 0.05 = 3.8 BICYCLES SPACES  
4 SPACES REQUIRED = 2 INVERTED U RACKS PROVIDED

## FIRE FLOW TABLE

FIRE FLOW AVAILABLE PER LONGMONT WATER DEPARTMENT	3500 GPM
BUILDING CONSTRUCTION TYPE	TYPE IIB
NFPA FIRE SPRINKLER SYSTEM TYPE	NFPA 13
FIRE AREA (TOTAL SQ. FOOTAGE OF ALL FLOORS WITHIN BUILDING WALLS INCLUDING THE AREA OF THE ROOF PROJECTION BEYOND THE WALLS)	23,179 SF
FIRE FLOW REQUIRED, PER IFC APPENDIX B	1000 GPM
MINIMUM NUMBER OF HYDRANTS, PER IFC APPENDIX C	1
AVERAGE HYDRANT SPACING, PER IFC APPENDIX C	500'
MAXIMUM DISTANCE FROM HYDRANT TO ANY POINT ON STREET OR ROAD FRONTAGE, PER IFC APPENDIX C	250'

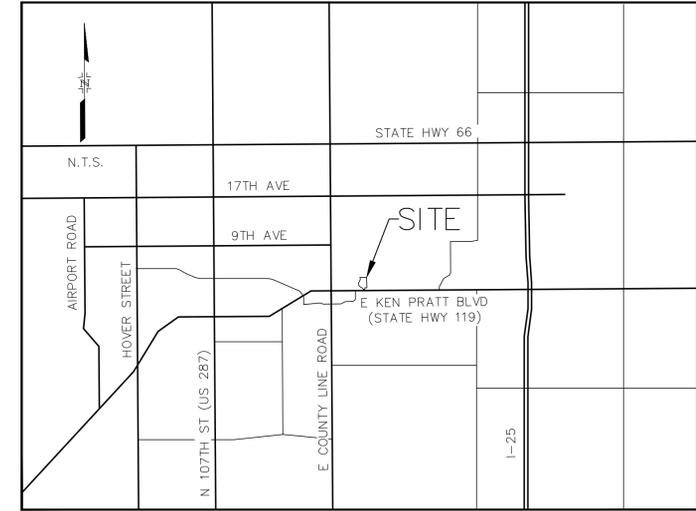


## SITE MAP

1"=100'

## CITY OF LONGMONT GENERAL NOTES

- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY, OR EASEMENT SHALL CONFORM TO THE CITY OF LONGMONT CONSTRUCTION SPECIFICATIONS AND DESIGN STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER, AND THE CITY, OF ANY PROBLEMS IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- IT IS THE RESPONSIBILITY IF THE DEVELOPER DURING CONSTRUCTION ACTIVITIES TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGED CONDITIONS, OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROJECT. IF, IN THE OPINION OF THE CITY, THE MODIFICATIONS PROPOSED BY THE DEVELOPER TO THE APPROVED PLANS, INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR RESUBMITTING THE REVISED PLANS TO THE CITY OF LONGMONT FOR APPROVAL PRIOR TO ANY FURTHER ACCORDANCE WITH THE APPROVED PLANS, OR THE APPROVED REVISED PLANS, SHALL BE REMOVED AND RECONSTRUCTED ACCORDING TO THE APPROVED PLAN.
- THE GRADING PLAN IS FOR ROUGH GRADING ONLY. CHANGES MAY BE NECESSARY TO BRING PLANS INTO CONFORMANCE WITH APPROVED FINAL DRAINAGE PLAN AND SITE PLAN.
- A WATER TRUCK, IF CALLED FOR BY THE INSPECTOR, WILL BE PROVIDED, BY THE CONTRACTOR, TO KEEP DUST IN CHECK.
- ANY SETTLEMENT OR SOIL ACCUMULATION, BEYOND THE PROPERTY LIMITS, DUE TO GRADING OR EROSION SHALL BE REPAIRED, BY THE CONTRACTOR, IMMEDIATELY.
- NO GRADING SHALL TAKE PLACE IN DELINEATED FLOOD HAZARD AREAS UNTIL THE FINAL DRAINAGE PLAN HAS BEEN APPROVED AND ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.
- ANY CONSTRUCTION DEBRIS, MUD TRACKING, SEDIMENT OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR, ACCUMULATE IN, THE FLOWLINES AND PUBLIC RIGHTS OF WAY OF THE CITY, RESULTING FROM THE PROJECT, SHALL BE REMOVED IMMEDIATELY, BY THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY FIX ANY EXCAVATION, OR EXCESSIVE PAVEMENT FAILURE CAUSED BY THE PROJECT, AND SHALL PROPERLY BARRICADE THE SITE UNTIL CONSTRUCTION IS COMPLETE. FAILURE, BY THE CONTRACTOR, TO CORRECT ANY OF THE ABOVE WITHIN 48 HOURS OF WRITTEN NOTICE, BY THE CITY, SHALL CAUSE THE CITY TO ISSUE A STOP WORK ORDER (RED TAG) AND/OR DO THE WORK AND MAKE A CLAIM AGAINST THE PROJECTS LETTER OF CREDIT FOR ANY COSTS INCURRED BY THE CITY.
- THE CONTRACTOR SHALL BE SOLELY, AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT, AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE CITY TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITY POLES SHALL BE RELOCATED PRIOR TO PLACEMENT OF ANY CONCRETE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS PRIOR TO ADJUSTING ALL CLEANOUTS, MANHOLES, VALVES, BOXES, SURVEY MONUMENTS, AND ANY OTHER FIXTURES TO FINISHED GRADE PRIOR TO FINAL PAVING.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGPERSONS, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE LONGMONT SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL PROVIDE INGRESS AND EGRESS TO PRIVATE PROPERTY ADJACENT TO THE PROJECT THROUGHOUT THE PERIOD OF CONSTRUCTION. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL OBTAIN A WRITTEN AGREEMENT FROM THE PROPERTY OWNERS IMPACTED BY THIS ACCESS. UPON REQUEST, THE CONTRACTOR SHALL PROVIDE A COPY OF THESE WRITTEN AGREEMENTS TO THE CITY.
- PRIOR TO FINAL PLACEMENT OF SURFACE PAVEMENT, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED OUT BEYOND CURB LINE, WHEN ALLOWED BY THE UTILITY. SERVICE FROM PUBLIC UTILITIES AND FROM SANITARY SEWERS SHALL BE MADE AVAILABLE FOR EACH LOT IN SUCH A MANNER THAT WILL NOT BE NECESSARY TO DISTURB THE STREET PAVEMENT, CURB, GUTTER, AND SIDEWALK WHEN CONNECTIONS ARE MADE.
- REPRODUCIBLE COPIES OF "AS BUILT" PLANS SHALL BE SUBMITTED TO THE CITY OF LONGMONT PRIOR TO CONSTRUCTION ACCEPTANCE OF THE PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR AT LEAST 24 HOURS PRIOR TO DESIRED INSPECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF EROSION CONTROL DEVICES.
- CONSTRUCTION STAGING AREAS WILL BE REQUIRED TO STAY WITHIN THE LIMITS OF CONSTRUCTION AND AS APPROVED IN THE STORMWATER MANAGEMENT PLAN.
- THE APPROVED STORMWATER MANAGEMENT PLAN WILL BE REQUIRED ON SITE AT ALL TIMES.
- THE DEVELOPER SHALL PROVIDE A NEST SURVEY NO MORE THAN ONE WEEK (7 DAYS) BEFORE ANY STORMWATER CONSTRUCTION ACTIVITY PERMIT (SCAP) IS ISSUED FOR THE PROPERTY.
- THE DEVELOPER SHALL FOLLOW ALL NESTING BIRD MITIGATION MEASURES RECOMMENDED BY COLORADO PARKS AND WILDLIFE SHOULD NESTING BIRDS BE DISCOVERED DURING THE NEST SURVEY.



## PROJECT TEAM

### OWNER/DEVELOPER

LONGMONT CLIMBING COLLECTIVE LLC  
33 SOUTH PRATT PARKWAY  
LONGMONT, CO 80501  
ATTN: BRYAN HYLENSKI  
(720) 899-0372

### ARCHITECT

LODESTONE DESIGN GROUP  
701 DELAWARE AVENUE SUITE C  
LONGMONT, CO 80501  
ATTN: MATT POTTER  
(303) 800-8633

### CIVIL ENGINEER

TAIT & ASSOCIATES, INC.  
6163 E. COUNTY ROAD 16  
LOVELAND, CO 80537  
ATTN: ALEX HOME, PE  
(970) 613-1447

### SURVEYOR

R.W. BAYER & ASSOCIATES, INC.  
12170 TEJON STREET  
WESTMINSTER, CO 80234  
ATTN: RAYMOND W. BAYER, PLS  
(303) 452-4433

### GEOTECHNICAL ENGINEER

GROUND ENGINEERING CONSULTANTS, INC.  
2468 EAST 9TH STREET  
LOVELAND, CO 80537  
ATTN: KELSEY VAN BEMMEL, PE  
(970) 685-3239

### LANDSCAPE ARCHITECT

WILDRIE DESIGN LLC  
802 SENEIO COURT  
LAFAYETTE, CO 80026  
ATTN: CHRISTIE SCHNEIDER, PLA  
(303) 325-1461

## LPC GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING UTILITY LOCATES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987.
- THE CONTRACTOR SHALL ORGANIZE THE UTILITY CONSTRUCTION FROM DEEPEST TO SHALLOWEST; THIS INCLUDES PRIVATE LIGHTING AND IRRIGATION. SHOULD LPC MOBILIZE FOR CONSTRUCTION EFFORTS AND FIND CONFLICTS WITH SHALLOW INSTALLATIONS, THE SCOPE OF THE PROJECT MAY REQUIRE EXTRA CHARGES.
- WHEN EXISTING UNDERGROUND LPC ELECTRIC CABLES RUN NEAR THE PROJECT WORK AREA, THEY CANNOT BE DE-ENERGIZED FOR CROSSING PURPOSES. THE CONTRACTOR MUST TAKE ALL PRECAUTION NECESSARY TO PREVENT DAMAGE TO THE CABLES OR INJURY TO THE CONSTRUCTION CREW. SHOULD THE CONTRACTOR DAMAGE THESE FACILITIES, CONTACT LONGMONT POWER & COMMUNICATIONS IMMEDIATELY AT 651-8386. LONGMONT POWER & COMMUNICATIONS WILL REPAIR THE FACILITIES AND BILL THE DEVELOPER FOR ALL ASSOCIATED COSTS.
- WHERE OVERHEAD ELECTRIC FACILITIES EXIST IN THE DEVELOPMENT AREA, THE CONTRACTOR MUST KEEP ALL EQUIPMENT OPERATION A MINIMUM OF 10 FEET FROM EXISTING OVERHEAD ELECTRIC LINES. IF THIS IS NOT FEASIBLE, OR CONDITIONS WARRANT ADDITIONAL PROTECTION OR POLE STABILIZATION, THE CONTRACTOR MUST CONTACT THE LONGMONT POWER & COMMUNICATIONS CONSTRUCTION COORDINATOR AT 651-8386. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE PROTECTIVE COVERING AND OR POLE STABILIZATION, 48 HOURS IN ADVANCE. SHOULD THE ELECTRIC FACILITIES BE DAMAGED, THE CONTRACTOR MUST CONTACT LPC AT 651-8386. ADDITIONALLY, ALL COSTS ASSOCIATED WITH REPAIRS WILL BE THE RESPONSIBILITY OF THE DEVELOPER.
- FOR COST EFFECTIVENESS, STREETS, PARKING SURFACES AND SIDEWALKS SHOULD NOT BE PAVED OR CONCRETE PLACED UNTIL THE GROUND CROSSING FOR USE BY LONGMONT POWER & COMMUNICATIONS HAS BEEN INSTALLED. THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR INSTALLING SLEEVES UNDER ROADWAYS, CULVERTS, DITCHES, SIDEWALKS AND EXISTING UTILITY FACILITIES FOR THE USE OF LONGMONT POWER & COMMUNICATIONS'S FACILITIES. NOTIFICATION AND COORDINATION OF THE DITCH CROSSINGS IS A DEVELOPER RESPONSIBILITY. REFER TO SECTION 700 IN THE CITY OF LONGMONT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- WITH SUBMITTAL FOR CONSTRUCTION PERMIT ALL COMMERCIAL AND MULTI-FAMILY UNIT NUMBERS AS WELL AS HOUSE PANELS MUST BE CALLED OUT ON THE PERMIT. LPC WILL NOT APPROVE PERMIT SUBMITTALS WITHOUT PROPER ADDRESSING FOR METER BANDING REQUIREMENTS PLEASE REFER TO SECTION 706.09 METERING REQUIREMENTS IN THE DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- CONCRETE TRANSFORMER PADS ARE PROVIDED BY THE DEVELOPER/CONTRACTOR. THE OWNERSHIP AND MAINTENANCE OF THE PAD IS THE LANDOWNER'S RESPONSIBILITY.
- THE CUSTOMER MUST INSTALL PROTECTIVE BOLLARDS AROUND ELECTRICAL EQUIPMENT THAT CANNOT MEET THE MINIMUM CLEARANCE OR SETBACK REQUIREMENTS. REFER TO DETAIL 700-18 IN THE CITY OF LONGMONT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- ELECTRIC METERS MUST BE ON THE OUTSIDE OF THE BUILDING AND CANNOT BE FENCED IN.

NEW CONSTRUCTION  
LONGMONT CLIMBING  
COLLECTIVE  
33 S. PRATT PKWY STE. 300  
LONGMONT, CO.

PROJECT #: CO13780

DRAWING TITLE:

COVER SHEET

DATE:

8.17.21

DRAWN: NB CHECKED: BC

ISSUE RECORD DATE

CUSP SUBMITTAL #1 05-12-2021

DURING CONSTRUCTION 08-19-2021

CUSP SUBMITTAL #3 10-13-2021

# REVISION DATE

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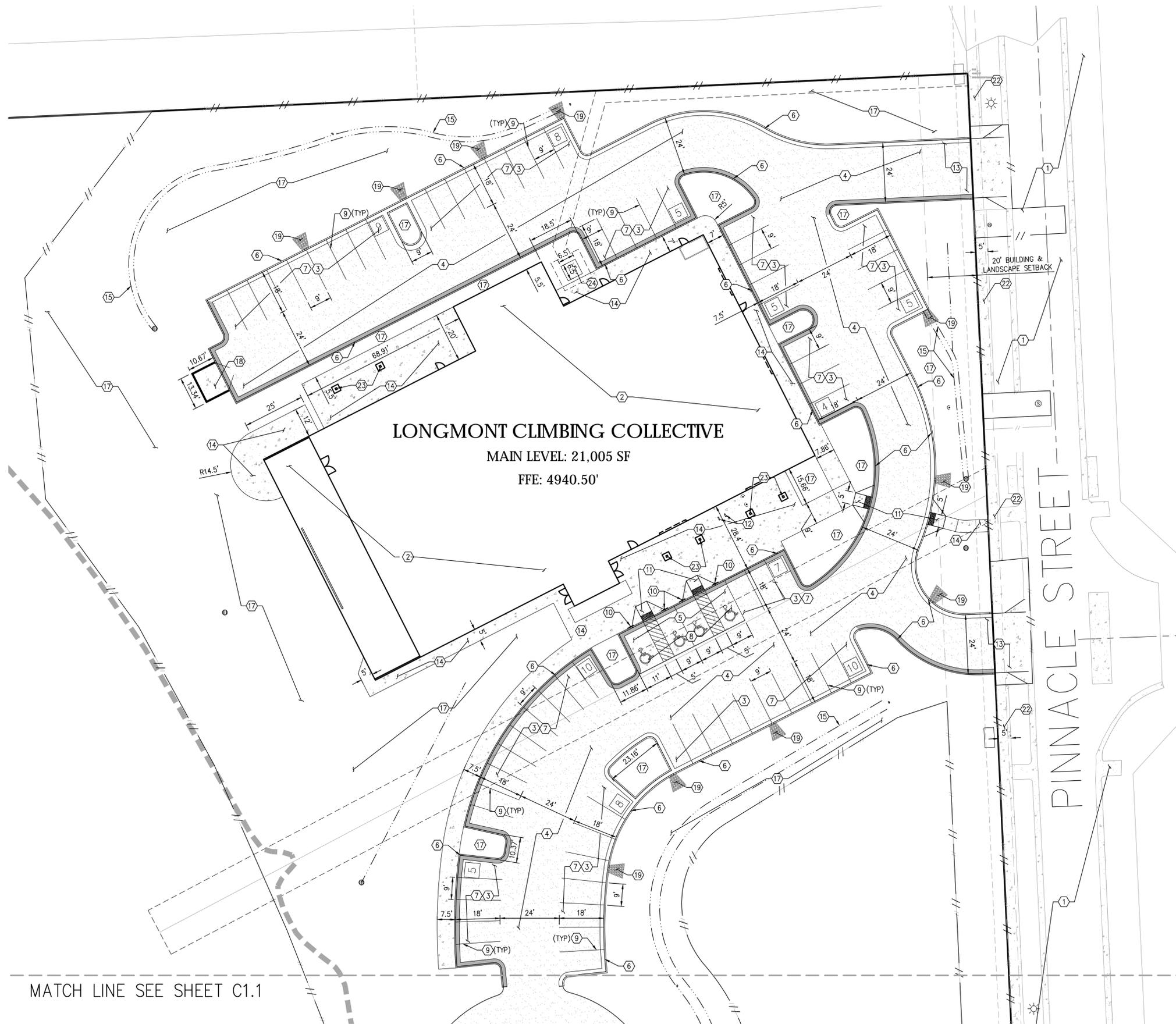
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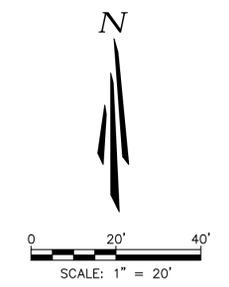
**LONGMONT CLIMBING COLLECTIVE**  
 MAIN LEVEL: 21,005 SF  
 FFE: 4940.50'

**LEGEND**

- EXISTING EASEMENT
- PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- 100 YR FLOOD PLAIN
- PROPOSED CATCH CURB AND GUTTER
- PROPOSED SPILL CURB AND GUTTER
- PROPOSED LIMIT OF DISTURBANCE
- ## PROPOSED NUMBER OF PARKING STALLS
- PROPOSED STORM INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED FLARED END SECTION
- PROPOSED STORM DRAIN OUTLET STRUCTURE
- PROPOSED ASPHALT CONCRETE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED INVERTED U BIKE RACK
- PROPOSED SIGN
- PROPOSED LPC EASEMENT LINE

**KEY NOTES:**

- 1 PROTECT EXISTING IMPROVEMENTS IN PLACE.
- 2 PROPOSED BUILDING, REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- 3 PROPOSED STANDARD DUTY ASPHALT PAVEMENT.
- 4 PROPOSED HEAVY HEAVY DUTY ASPHALT PAVEMENT.
- 5 PROPOSED STANDARD DUTY CONCRETE PAVEMENT.
- 6 PROPOSED VERTICAL CURB AND GUTTER TYPE B PER CITY OF LONGMONT STANDARD DETAIL 200-09.
- 7 PROPOSED 9'X18' PARKING STALL PER CITY OF LONGMONT STANDARDS.
- 8 PROPOSED ADA PARKING STALL AND LOADING ZONE STRIPING.
- 9 PROPOSED 4" WHITE STRIPES TO DELINEATE PARKING STALLS (2 COATS) - TYPICAL.
- 10 PROPOSED HANDICAP PARKING SIGN.
- 11 PROPOSED ADA RAMP, TRUNCATED DOMES PER CITY OF LONGMONT STANDARD DETAIL 200-15.
- 12 PROPOSED "INVERTED U" BICYCLE RACK PER CITY OF LONGMONT STANDARD DETAIL.
- 13 PROPOSED CONCRETE DRIVEWAY WITH OFFSET WALK PER CITY OF LONGMONT STANDARD DETAIL 200-09.
- 14 PROPOSED 6" THICK CONCRETE SIDEWALK PER CITY OF LONGMONT STANDARD DETAILS 200-04 AND 200-06.
- 15 PROPOSED LANDSCAPE SWALE WITH UNDERDRAIN.
- 16 PROPOSED STORM DRAIN.
- 17 PROPOSED LANDSCAPE AREA, REFER TO LANDSCAPE PLANS FOR DETAILS.
- 18 PROPOSED TRASH ENCLOSURE.
- 19 PROPOSED D50=6" RIPRAP 18" DEEP UNDERLINED WITH FILTER FABRIC.
- 20 PROPOSED DETENTION POND. SIZED TO STORE EXCESS URBAN RUNOFF VOLUME (EURV).
- 21 PROPOSED OUTLET STRUCTURE.
- 22 EXISTING SIDEWALK WITHIN R/W.
- 23 PROPOSED COLUMNS. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND LAYOUT.
- 24 PROPOSED LPC TRANSFORMER PAD.



MATCH LINE SEE SHEET C1.1

NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
 33 S. PRATT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: CO13780

DRAWING TITLE:

NORTH SITE PLAN

DATE: 8.17.21

DRAWN: NB CHECKED: BC

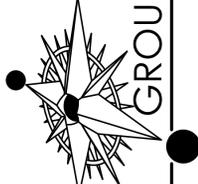
ISSUE RECORD DATE

CUSP SUBMITTAL #1	05-12-2021
CUSP SUBMITTAL #2	08-19-2021
CUSP SUBMITTAL #3	10-13-2021

#	REVISION	DATE

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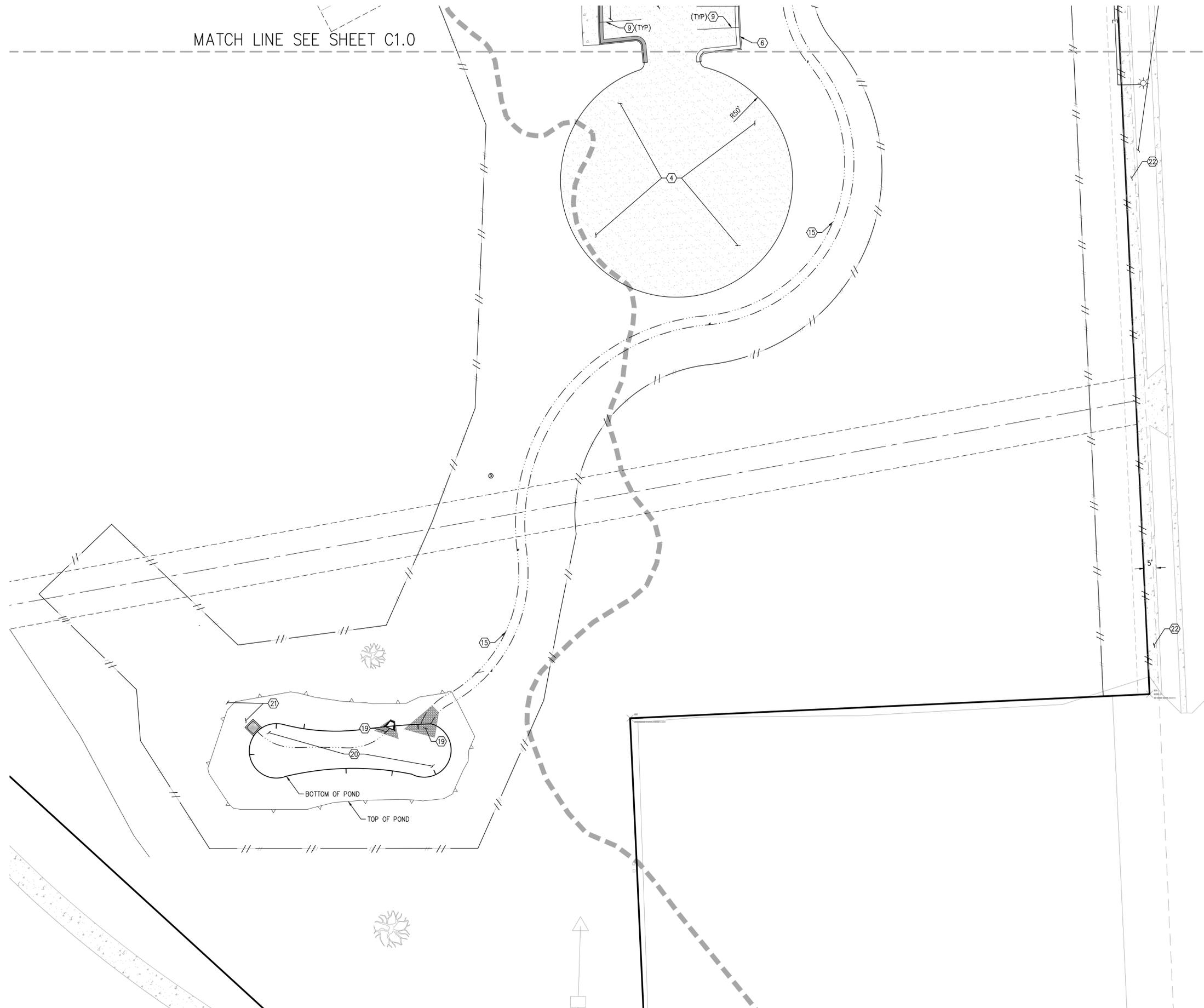
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 www.tait.com



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**C1.0**

MATCH LINE SEE SHEET C1.0

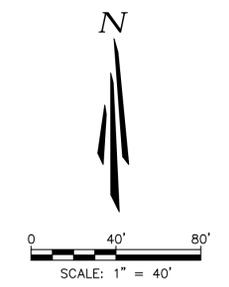


**LEGEND**

- EXISTING EASEMENT
- PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- 100 YR FLOOD PLAIN
- PROPOSED CATCH CURB AND GUTTER
- PROPOSED SPILL CURB AND GUTTER
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED NUMBER OF PARKING STALLS
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- PROPOSED CONCRETE PAVEMENT
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- PROPOSED SIGN

**KEY NOTES:**

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- ㉑ PROPOSED OUTLET STRUCTURE.
- ㉒ EXISTING SIDEWALK WITHIN R/W.



**NEW CONSTRUCTION**  
**LONGMONT CLIMBING**  
**COLLECTIVE**  
 33 S. PRATT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: CO13780

DRAWING TITLE:

SOUTH SITE PLAN

DATE: 8.17.21

DRAWN:	CHECKED:
NB	BC

ISSUE RECORD	DATE
CUSP SUBMITTAL #1	05-12-2021
CUSP SUBMITTAL #2	08-19-2021
CUSP SUBMITTAL #3	10-13-2021

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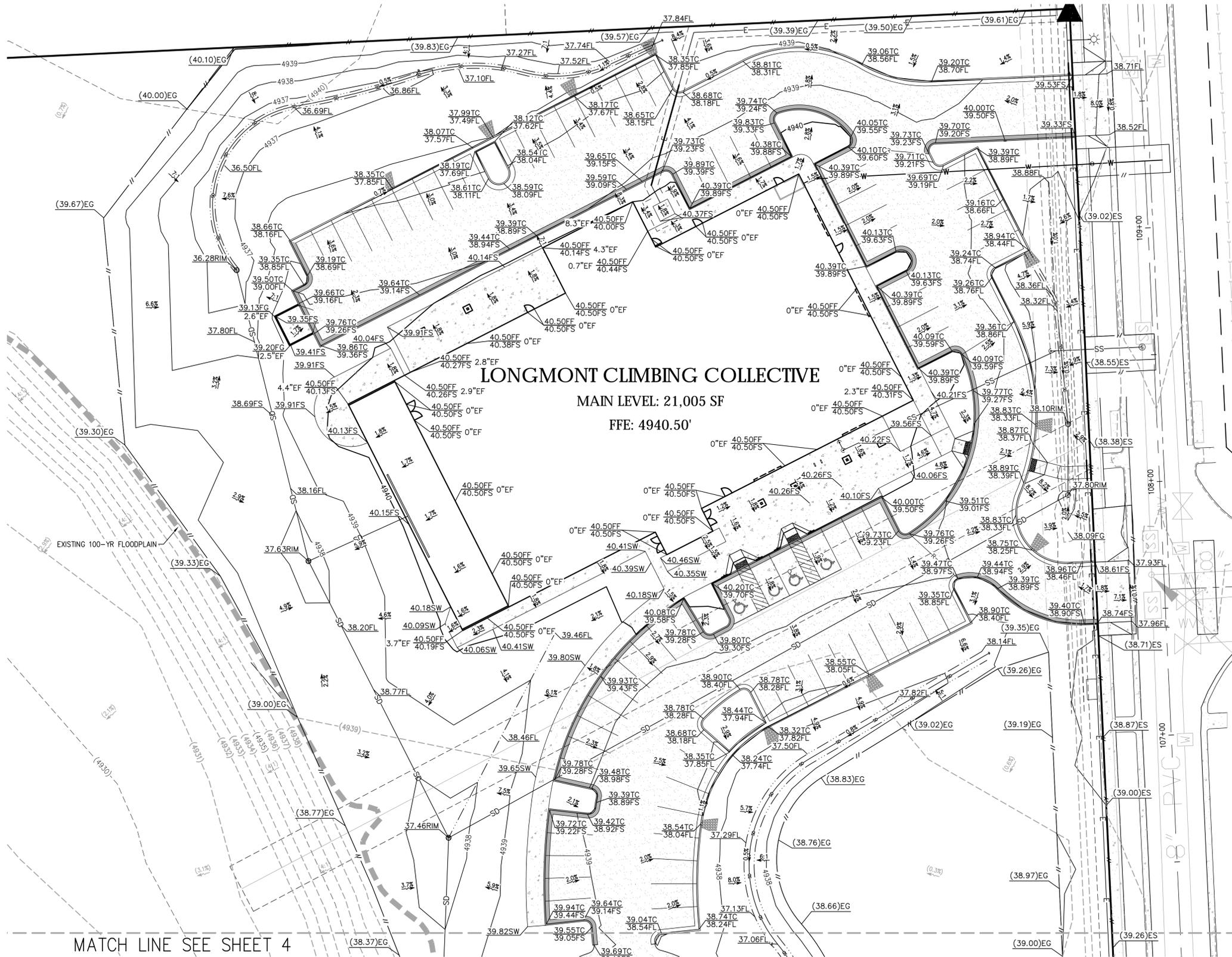
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**LONGMONT CLIMBING COLLECTIVE**  
 MAIN LEVEL: 21,005 SF  
 FFE: 4940.50'

- GENERAL NOTES:**
1. FINISHED GRADE AT UTILITY VAULT TO BE 0.2' BELOW TOP OF VAULT ELEVATION.
  2. SEE DRAINAGE MAP FOR 100-YR PONDING DELINEATION.
  3. NO LEVELS BELOW GRADE ARE PROPOSED.
  4. NO GRADING WILL BE ALLOWED WITHIN THE DRIP LINE OF EXISTING TREES SCHEDULED TO REMAIN. CUT OR FILL NOT EXCEEDING SIX (6) INCHES MAY OCCUR WITHIN THE DRIP LINE, BUT SHALL BE DONE BY HAND METHODS.

- ADA NOTE:**
- ALL PATHS OF TRAVEL ARE TO ABIDE BY THE FOLLOWING PARAMETERS:
- CROSS-SLOPE NOT TO EXCEED 2%
  - LONGITUDINAL SLOPE NOT TO EXCEED 5%
  - LONGITUDINAL RAMP SLOPE NOT TO EXCEED 8.33%
  - RAMP LANDINGS NOT TO EXCEED 2% (LANDING PLACEMENT PER RAMP DETAILS)
  - PATHWAYS EXCEEDING THESE STANDARDS WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE
  - PER CITY OF LONGMONT STANDARDS AND SPECIFICATIONS LIP SLOPE MAY NOT EXCEED 5%

- FLOODPLAIN NOTE:**
1. THE 100-YEAR FLOOD PLAIN SHOWN HEREON IS BASED ON FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY MAP NO. 0801300289J LAST REVISED DECEMBER 18, 2012. ACCORDING TO THE FIRM COMMUNITY MAP, THE PROPERTY LIES WITHIN ZONE X. ZONE X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. THE BASE FLOOD ELEVATION (BFE) ADJACENT TO THIS SITE IS 4936'.
  2. THE INTERIM BASE FLOOD ELEVATION (BFE) AS SHOWN ON THE LEITHAND CREEK FLOODPLAIN COMPARISON, EXISTING VS. INTERIM 100-YR FLOODPLAIN, SHEET 6, DATED 4/10/2017, BY ANDERSON CONSULTING, IS 4936'. THE INTERIM BFE IS SHOWN ON THIS PLAN FOR REFERENCE ONLY.

**LEGEND**

	EXISTING EASEMENT
	PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	100 YR FLOOD PLAIN
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING ELECTRICAL LINE
	EXISTING COMMUNICATION LINE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING CURB INLETS
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED CATCH CURB AND GUTTER
	PROPOSED SPILL CURB AND GUTTER
	PROPOSED SWALE
	PROPOSED RIDGE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED NUMBER OF PARKING STALLS
	PROPOSED STORM INLET
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	PROPOSED FLARED END SECTION
	PROPOSED STORM DRAIN OUTLET STRUCTURE
	PROPOSED ASPHALT CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED INVERTED U BIKE RACK
	PROPOSED SIGN

MATCH LINE SEE SHEET 4

NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
 33 S. PRATT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: CO13780		
DRAWING TITLE:		
NORTH GRADING PLAN		
DATE: 8.17.21		
DRAWN: NB	CHECKED: BC	
ISSUE RECORD	DATE	
CUSP SUBMITTAL #1	05-12-2021	
CUSP SUBMITTAL #2	08-19-2021	
CUSP SUBMITTAL #3	10-13-2021	
#	REVISION	DATE

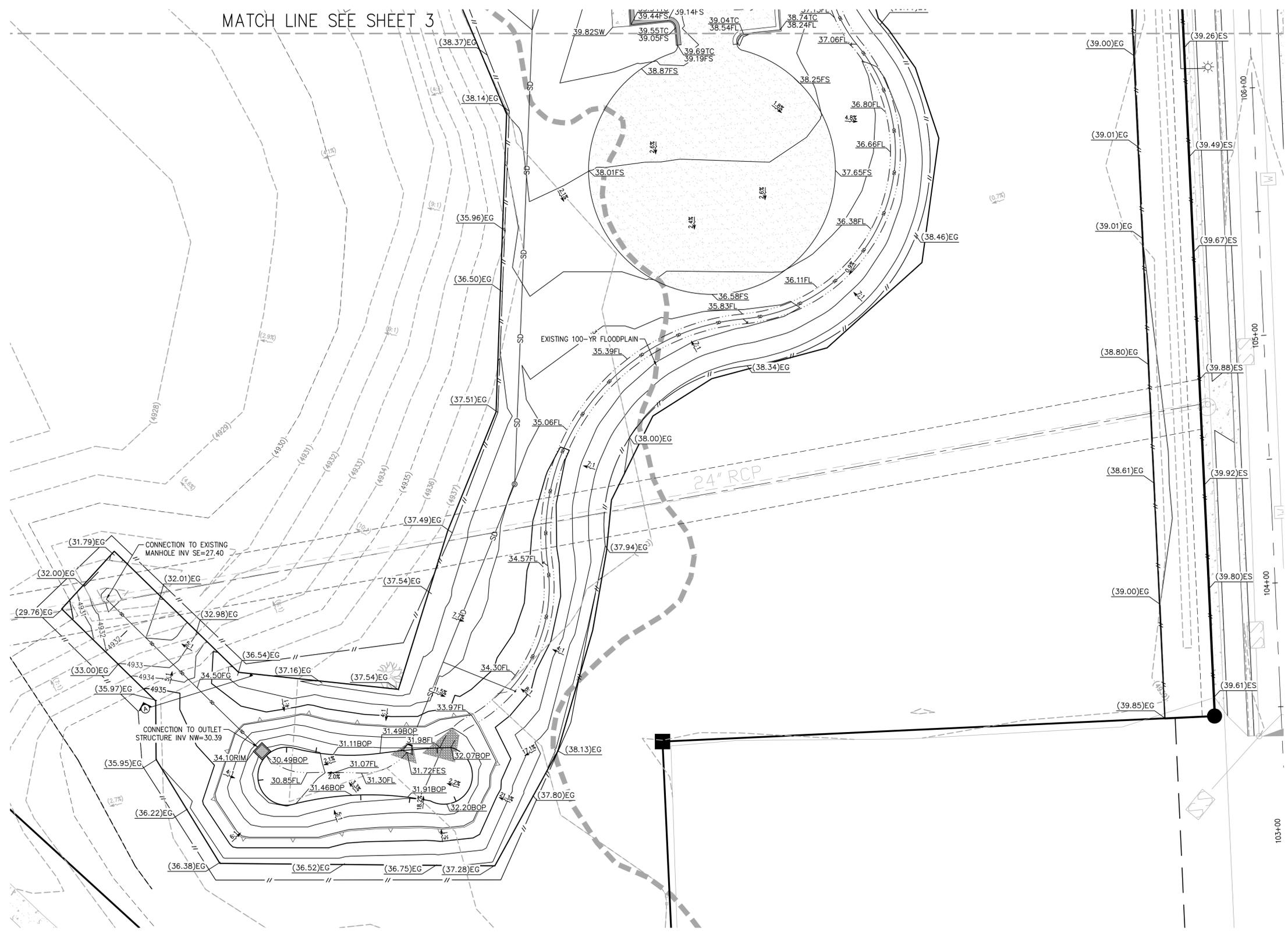
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MATCH LINE SEE SHEET 3

**GENERAL NOTES:**

1. FINISHED GRADE AT UTILITY VAULT TO BE 0.2' BELOW TOP OF VAULT ELEVATION.
2. SEE DRAINAGE MAP FOR 100-YR PONDING DELINEATION.
3. NO LEVELS BELOW GRADE ARE PROPOSED.
4. NO GRADING WILL BE ALLOWED WITHIN THE DRIP LINE OF EXISTING TREES SCHEDULED TO REMAIN. CUT OR FILL NOT EXCEEDING SIX (6) INCHES MAY OCCUR WITHIN THE DRIP LINE, BUT SHALL BE DONE BY HAND METHODS.

**ADA NOTE:**

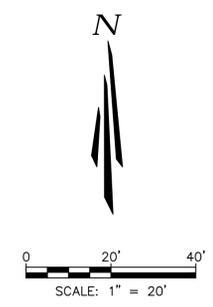
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  - LONGITUDINAL RAMP SLOPE NOT TO EXCEED 8.33%
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**LEGEND**

	EXISTING EASEMENT
	PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	100 YR FLOOD PLAIN
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
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	PROPOSED STORM DRAIN OUTLET STRUCTURE
	PROPOSED ASPHALT CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED INVERTED U BIKE RACK
	PROPOSED SIGN



NEW CONSTRUCTION  
**LONGMONT CLIMBING**  
 COLLECTIVE  
 33 S. PRATT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: CO13780  
 DRAWING TITLE:

SOUTH GRADING PLAN

DATE: 8.17.21

DRAWN:	CHECKED:
NB	BC
ISSUE RECORD	DATE
CUSP SUBMITAL #1	05-12-2021
CUSP SUBMITAL #2	08-19-2021
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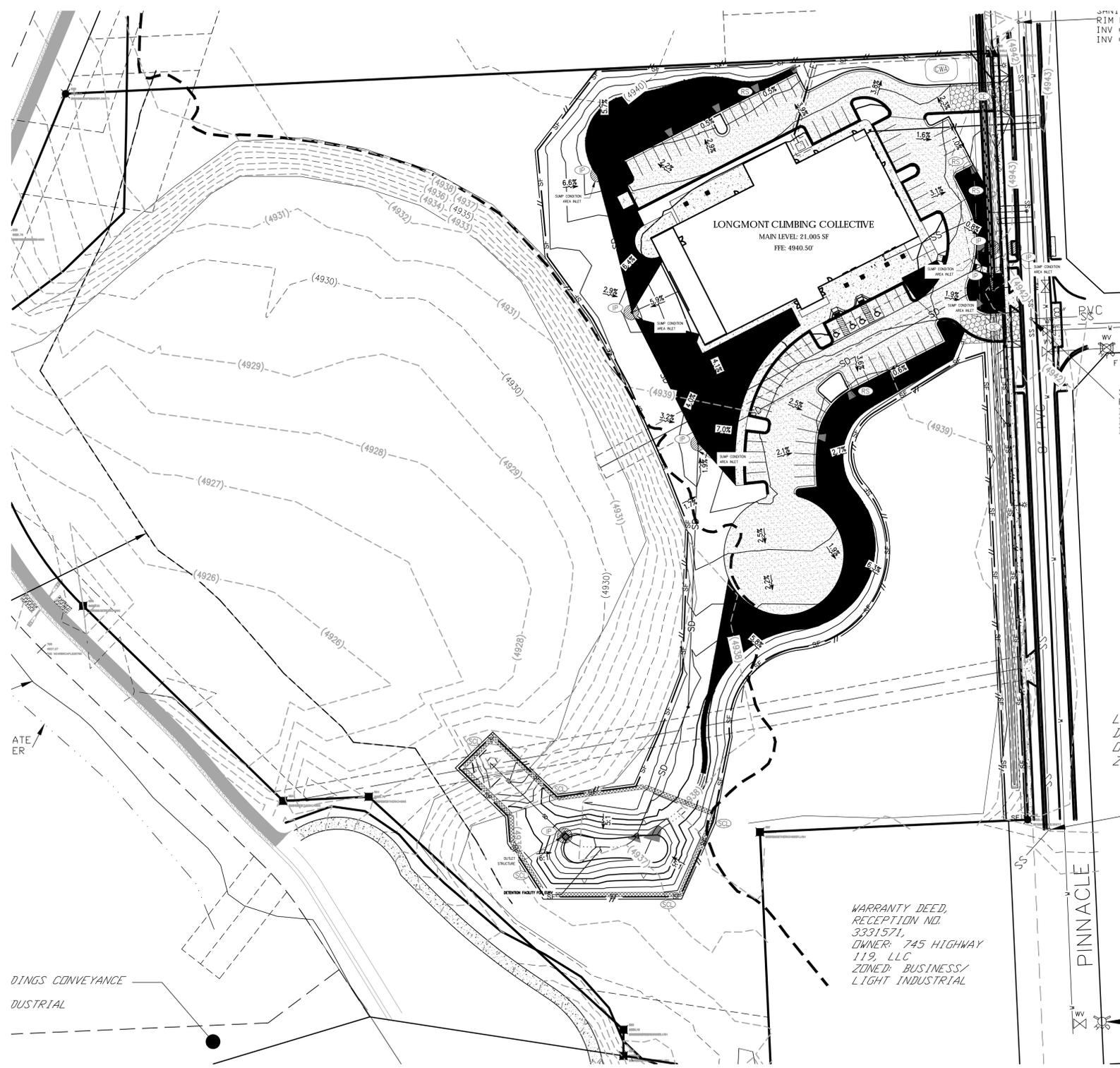
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### STORMWATER POLLUTION CONTROL GENERAL NOTES

1. STORMWATER POLLUTION CONTROL (SPC) CONSTRUCTION DRAWINGS HAVE BEEN SUBMITTED AND APPROVED AS PART OF AN APPLICATION FOR A STORMWATER CONSTRUCTION ACTIVITY PERMIT FOR CONSTRUCTION ACTIVITIES FILED WITH THE CITY OF LONGMONT. ADDITIONAL STORMWATER POLLUTION CONTROL MEASURES (EROSION AND SEDIMENT CONTROL MEASURES, AND BEST MANAGEMENT PRACTICES) MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE STORMWATER POLLUTION CONTROLS OUTLINED IN THESE DRAWINGS DO NOT FUNCTION AS INTENDED. THE INSTALLATION AND MAINTENANCE OF ALL STORMWATER POLLUTION CONTROL MEASURES SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PERMIT IS RELEASED.
2. THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL STORMWATER POLLUTION CONTROL MEASURES FOR SEDIMENT AND EROSION CONTROL AND WATER QUALITY "BEST MANAGEMENT PRACTICES" AS INDICATED IN THE APPROVED STORMWATER POLLUTION CONTROL (SPC) CONSTRUCTION DRAWINGS. ALL STORMWATER POLLUTION CONTROLS SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT AS INSTRUCTED IN THE CONTROL DETAILS INCLUDED IN THE APPROVED SPC CONSTRUCTION DRAWINGS.
3. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND ILLUSTRATING (ON THE STORMWATER POLLUTION CONTROL CONSTRUCTION DRAWINGS) TOPSOIL, STOCKPILES, STAGING AREAS, EQUIPMENT STORAGE, REFUELING/MAINTENANCE AREAS, AND DISPOSAL AREAS.
4. THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE FLOW LINES AND PUBLIC RIGHTS-OF-WAYS OF THE CITY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER, USING APPROPRIATE EQUIPMENT FOR THE POLLUTANT PRESENT. EQUIPMENT AND MATERIALS NECESSARY FOR THE CONTROL OF SPILLS SHALL BE AVAILABLE ON-SITE AT ALL TIMES. SPILLS AND LEAKS SHALL BE STOPPED AND THE MATERIAL CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY. USE PROPER STORMWATER CONTROL MEASURES ("BEST MANAGEMENT PRACTICES") TO PREVENT OIL, GREASE, OR FUEL FROM LEAKING ON THE GROUND, INTO STORM INLETS, OR SURFACE WATERS.
5. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS, SPILLED MATERIALS, AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING CONSTRUCTION ACTIVITIES, INCLUDING BUT NOT LIMITED TO, DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING, OR OTHER OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF STORM SEWERS, WATERWAYS, WETLANDS, ETC., ADVERSELY IMPACTED BY WORK DONE AS PART OF THIS PROJECT.
6. EQUIPMENT CAPABLE OF MITIGATING FUGITIVE DUST FROM CONSTRUCTION ACTIVITY SHALL BE AVAILABLE AT ALL TIMES. DUST/WIND CONTROL PRACTICES (WATERING, VEGETATION, STRIPPED TOPSOIL, ANY PLASTIC COVERS, ETC.) SHALL BE IMPLEMENTED AS PART OF ROUTINE SITE MAINTENANCE, IMPLEMENTED AS NEEDED TO ELIMINATE ANY ADVERSE IMPACTS TO ADJACENT PROPERTY OWNERS OR CITY RIGHTS-OF-WAY. ADDITIONAL DUST CONTROL REQUIREMENTS CAN BE FOUND IN THE CITY OF LONGMONT MUNICIPAL CODE TITLE 15 CHAPTER 15.05.160.
7. HAULING ROUTES FOR THE SITE MUST BE IDENTIFIED ON THE STORMWATER POLLUTION CONTROL CONSTRUCTION DRAWINGS. OFFSITE HAULING ROUTES MUST BE IDENTIFIED - REFER MUNICIPAL CODE TITLE 11 CHAPTER 11.32 FOR HAULING GUIDELINES.
8. THE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIALS IMPORTED TO, OR EXPORTED FROM, THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS-OF-WAY. ANY SETTLEMENT OR SOIL ACCUMULATION FOUND BEYOND THE LIMITS OF DISTURBANCE (AS IDENTIFIED ON THE STORMWATER POLLUTION CONTROL CONSTRUCTION DRAWINGS), SHALL BE REMOVED AND/OR REPAIRED IMMEDIATELY BY THE PERMITEE.
9. STOCKPILE REQUIREMENTS:
  - STOCKPILES SHALL BE IMMEDIATELY PROTECTED IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. STORMWATER CONTROL MEASURES, AS OUTLINED IN MILE HIGH FLOOD DISTRICT VOLUME 3 (OR CURRENT EDITION), FOR STOCKPILE MANAGEMENT SHALL BE INSTALLED AND MAINTAINED AT ALL TIMES.
  - STOCKPILE LOCATION SHALL BE SETBACK FROM PROPERTY LINES, DRAINAGE WAYS, AND FLOODPLAIN BOUNDARIES A MINIMUM OF 50 FEET, UNLESS WRITTEN APPROVAL IS GRANTED BY THE CITY. LOCATION OF STOCKPILES SHALL BE SELECTED TO PROVIDE ACCESS TO ALL EXISTING UTILITIES.
  - STOCKPILE HEIGHT ON-SITE IS LIMITED TO EIGHT (8) FEET WITH FLAT TOPS AND MAXIMUM SIDE SLOPES OF 2:1 (H:V), UNLESS WRITTEN APPROVAL IS GRANTED BY THE CITY.
  - DUST/WIND CONTROL PRACTICES (WATERING, VEGETATION, STRIPPED TOPSOIL, ANY PLASTIC COVERS, ETC.) SHALL BE IMPLEMENTED AS PART OF THE STOCKPILE MANAGEMENT. COVERS SHALL BE INSTALLED SECURELY TO PROTECT FROM WIND AND RAIN - REFER TO MUNICIPAL CODE TITLE 15 CHAPTER 15.05.160.
10. IF NO CONSTRUCTION ACTIVITIES TAKE PLACE ON-SITE FOR 30 DAYS OR MORE, THE PERMITEE IS RESPONSIBLE FOR SEEDING AND STABILIZING THE SITE WITH THE SEED MIX IDENTIFIED IN THE CITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS, PARKS AND OPEN SPACE APPROVED MATERIAL LIST, SECTION 604, OR CURRENT EQUIVALENT.
11. ANY KNOWN WILDLIFE IN THE PROPOSED AREA OF SOIL STOCKPILES (I.E. PRAIRIE DOGS, GROUND NESTING BIRDS AND CANOPY NESTING BIRDS - I.E. RAPTORS IN VICINITY) MUST BE IDENTIFIED AND SPECIFIED. IF PRESENT:
  - AN ALTERNATIVE LOCATION THAT DOES NOT NEGATIVELY IMPACT THE EXISTING WILDLIFE MUST BE FOUND, OR
  - PERMISSION IS REQUIRED TO RELOCATE, TRAP OR EUTHANIZE THE WILDLIFE FROM THE COLORADO DIVISION OF PARKS AND WILDLIFE.
12. IT IS THE PERMITEE'S RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS PERTAINING TO THE PERMITEE'S ACTIVITIES, WHETHER OR NOT THOSE REQUIREMENTS ARE INCLUDED IN THE STORMWATER CONSTRUCTION ACTIVITY PERMIT

### EROSION CONTROL PLAN SYMBOLS

TITLE	KEY	SYMBOL
PERMANENT SEEDING/LANDSCAPE RE: LANDSCAPE DRAWINGS	PS	
SILT FENCE/LIMIT OF DISTURBANCE INSTALL PER CITY OF LONGMONT DETAIL 300-07	SF	
VEHICLE TRACKING CONTROL PAD INSTALL PER CITY OF LONGMONT DETAIL 300-09	CE	
INLET PROTECTION INSTALL PER MHFD DETAIL SC-6	IP	
SEDIMENT CONTROL LOG INSTALL PER MHFD DETAIL SC-2	SC2	
ROCK SOCK INSTALL PER MHFD DETAIL SC-5	RS	
STABILIZED STAGING AREA INSTALL PER MHFD DETAIL SM-6	SSA	
CONCRETE WASHOUT AREA INSTALL PER MHFD DETAIL MM-1	CWA	

### LEGEND

	EXISTING STORM DRAIN
	EXISTING STORM MANHOLE
	EXISTING INLET
	PROPOSED INLET
	EXISTING MANHOLE
	PROPOSED STORM SEWER
	PROPERTY LINE
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED SAWCUT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	EXISTING FLOODPLAIN LIMIT
	PROPOSED SLOPE
	EXISTING SLOPE
	EXISTING CONCRETE SIDEWALK
	EXISTING PATTERNED CONCRETE
	BASE FLOOD ELEVATION
	FINISHED FLOOR ELEVATION
	SQUARE FOOT
	REINFORCED CONCRETE PIPE
	MANHOLE
	RIPARIAN OFFSET
	WETLANDS LIMITS
	FLOW DIRECTION

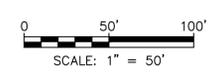
NOTE: REFER TO THE CITY OF LONGMONT STORM DRAINAGE CRITERIA MANUAL AND THE MILE HIGH FLOOD DISTRICT CRITERIA MANUAL VOLUME 3 - BEST MANAGEMENT PRACTICES FOR PROPER IMPLEMENTATION AND MAINTENANCE OF BEST MANAGEMENT PRACTICES SHOWN HEREON.

NOTE: ALL VEGETATION MUST BE PLANTED ACCORDING TO THE LANDSCAPE PLAN.

NOTE: SWALES AND BUFFERS SHOULD BE PROTECTED FROM COMPACTION TO PRESERVE THE INFILTRATION RATE.

LID/WATER QUALITY TREATMENT SWALES & BUFFERS

WARRANTY DEED,  
RECEPTION NO.  
3331571,  
OWNER: 745 HIGHWAY  
119, LLC,  
ZONED: BUSINESS/  
LIGHT INDUSTRIAL



NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
 33 S. PRATT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: CO13780

DRAWING TITLE:

DURING CONSTRUCTION  
EROSION CONTROL PLAN

DATE: 8.17.21

DRAWN: NB CHECKED: BC

ISSUE RECORD DATE

CUSP SUBMITTAL #1	05-12-2021
CUSP SUBMITTAL #2	08-19-2021
CUSP SUBMITTAL #3	10-13-2021

#	REVISION	DATE

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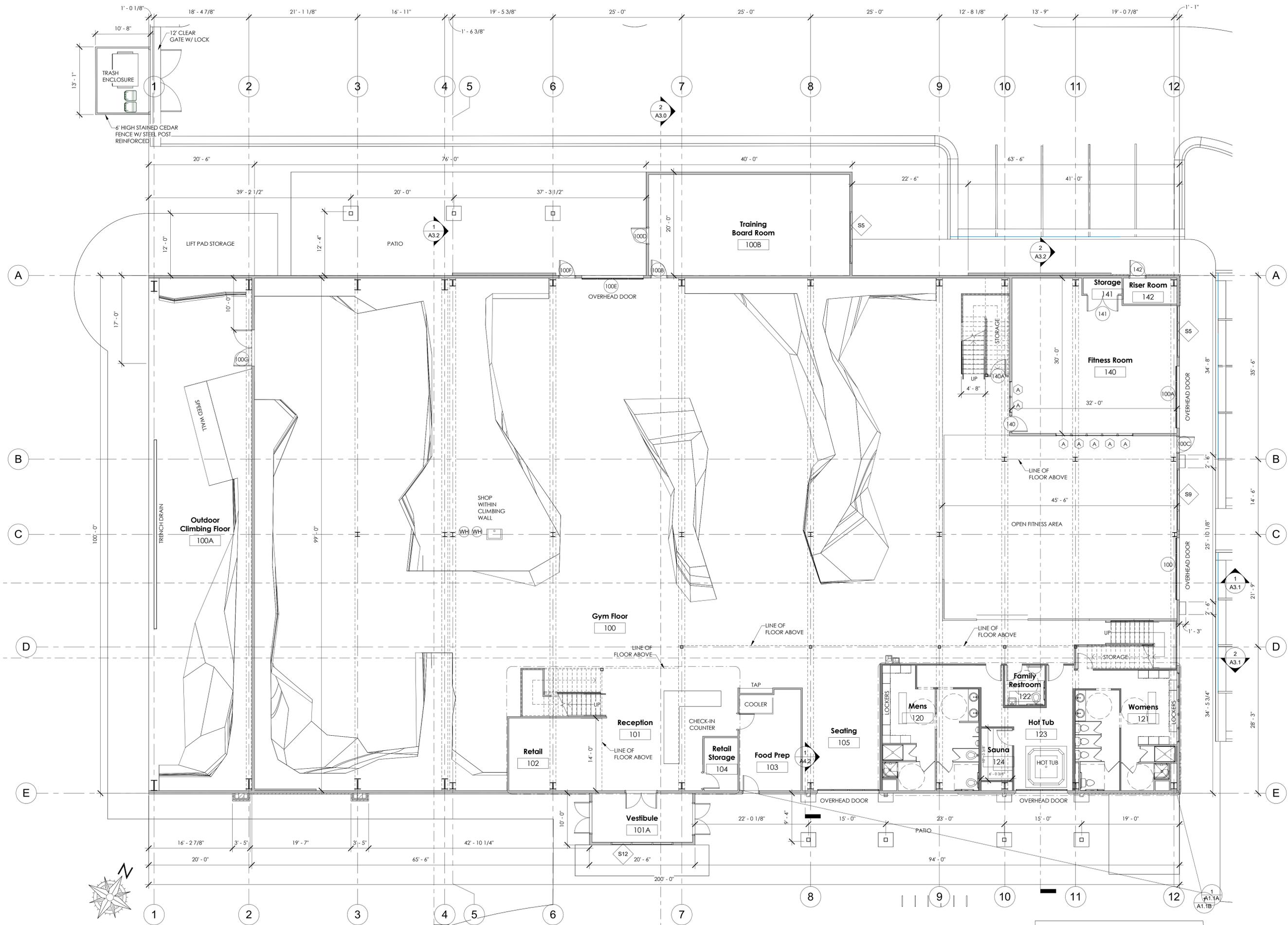
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 Orange County Sacramento Denver  
 San Luis Obispo Riverside Boise  
 Since 1964



**C4.0**



**1 MAIN LEVEL PLAN**  
SCALE: 1/8" = 1'-0"

NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
33 S. PRAIRIE PKWY STE. 300  
LONGMONT, CO.

PROJECT #: 19-061  
DRAWING TITLE:  
MAIN FLOOR PLAN

DATE: 10.13.21  
DRAWN: MP CHECKED: JVS  
ISSUE RECORD DATE  
Construction Documents 75%

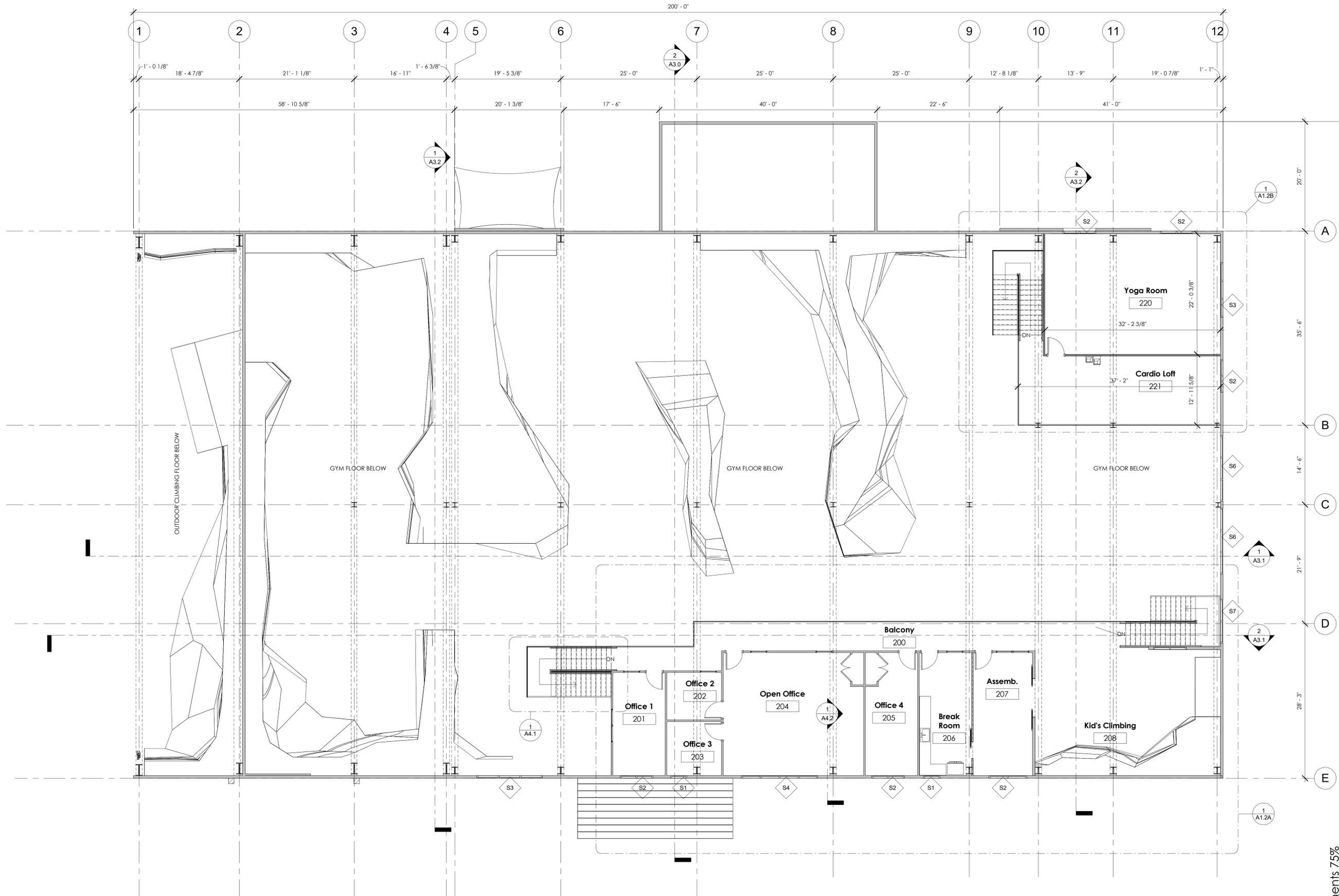
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**1** UPPER LEVEL PLAN  
SCALE: 1/8" = 1'-0"



NEW CONSTRUCTION

# LONGMONT CLIMBING COLLECTIVE

33 S. PRATT PKWY STE. 300  
LONGMONT, CO.

PROJECT #: 19-061  
DRAWING TITLE:  
UPPER LEVEL PLAN

DATE: 10.13.21  
DRAWN: MP CHECKED: JVS  
ISSUE RECORD DATE  
Construction Documents

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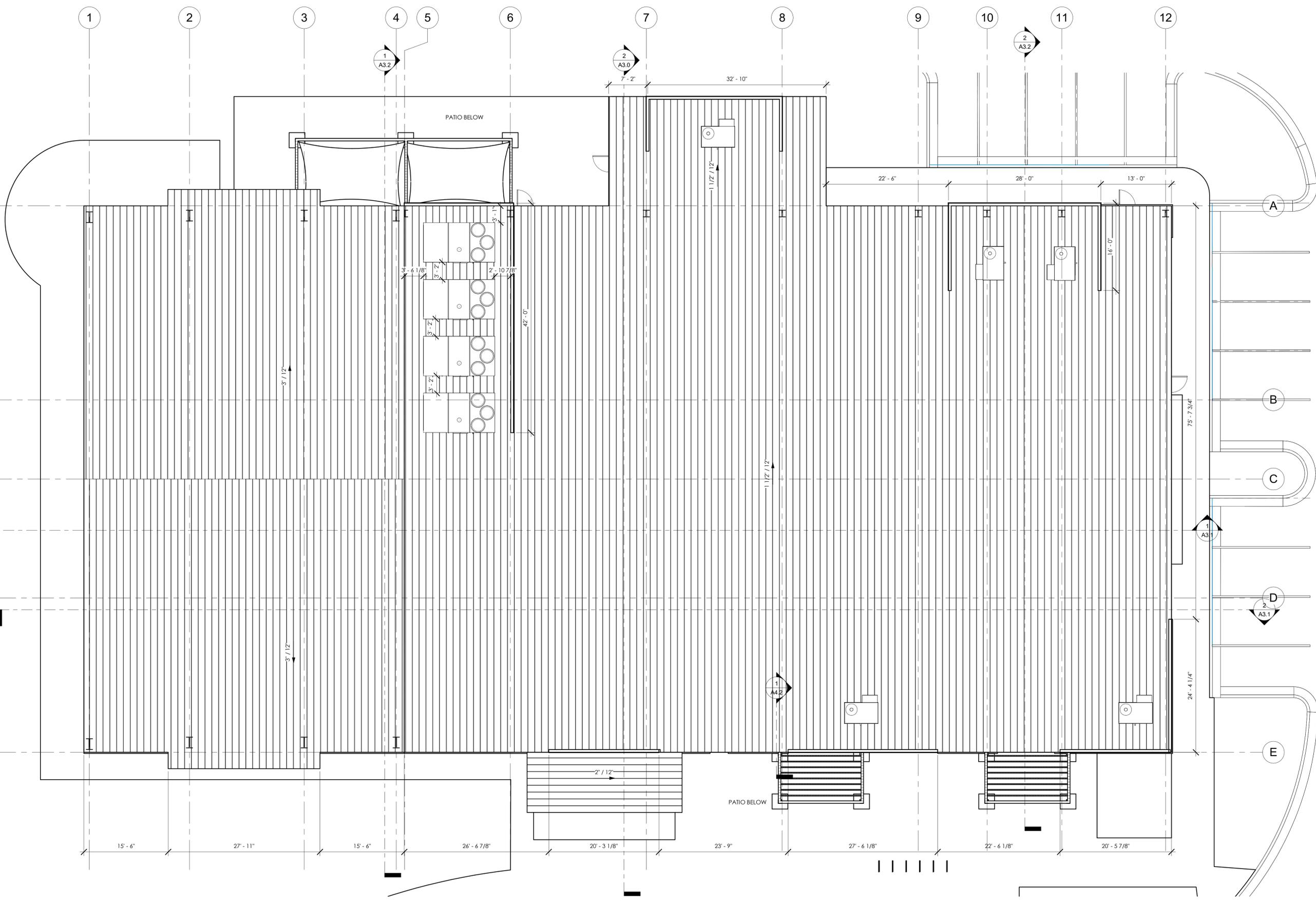
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# A1.2



**1** ROOF PLAN  
SCALE: 1/8" = 1'-0"



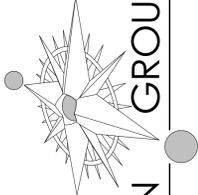
NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
33 S. PRAIT PKWY STE. 300  
LONGMONT, CO.

PROJECT #: 19-061  
DRAWING TITLE:  
ROOF PLAN  
DATE:  
10.13.21  
DRAWN: MP  
CHECKED: Checker  
ISSUE RECORD  
Construction Documents

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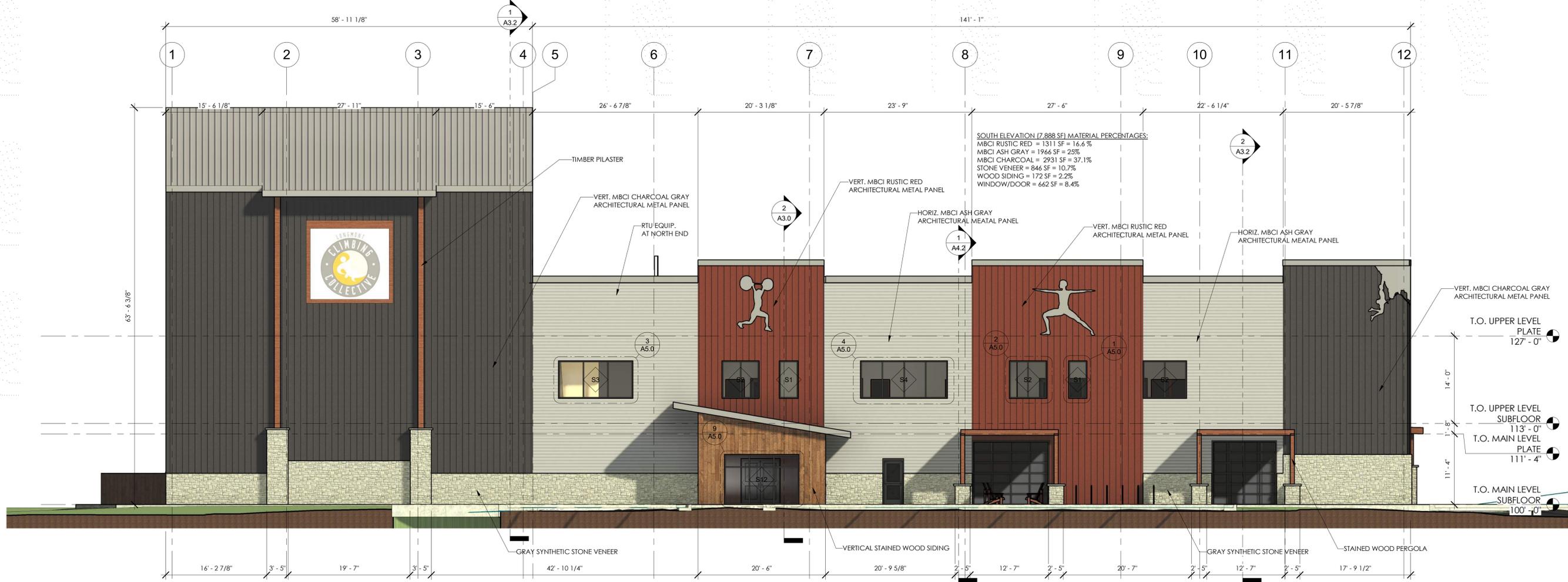
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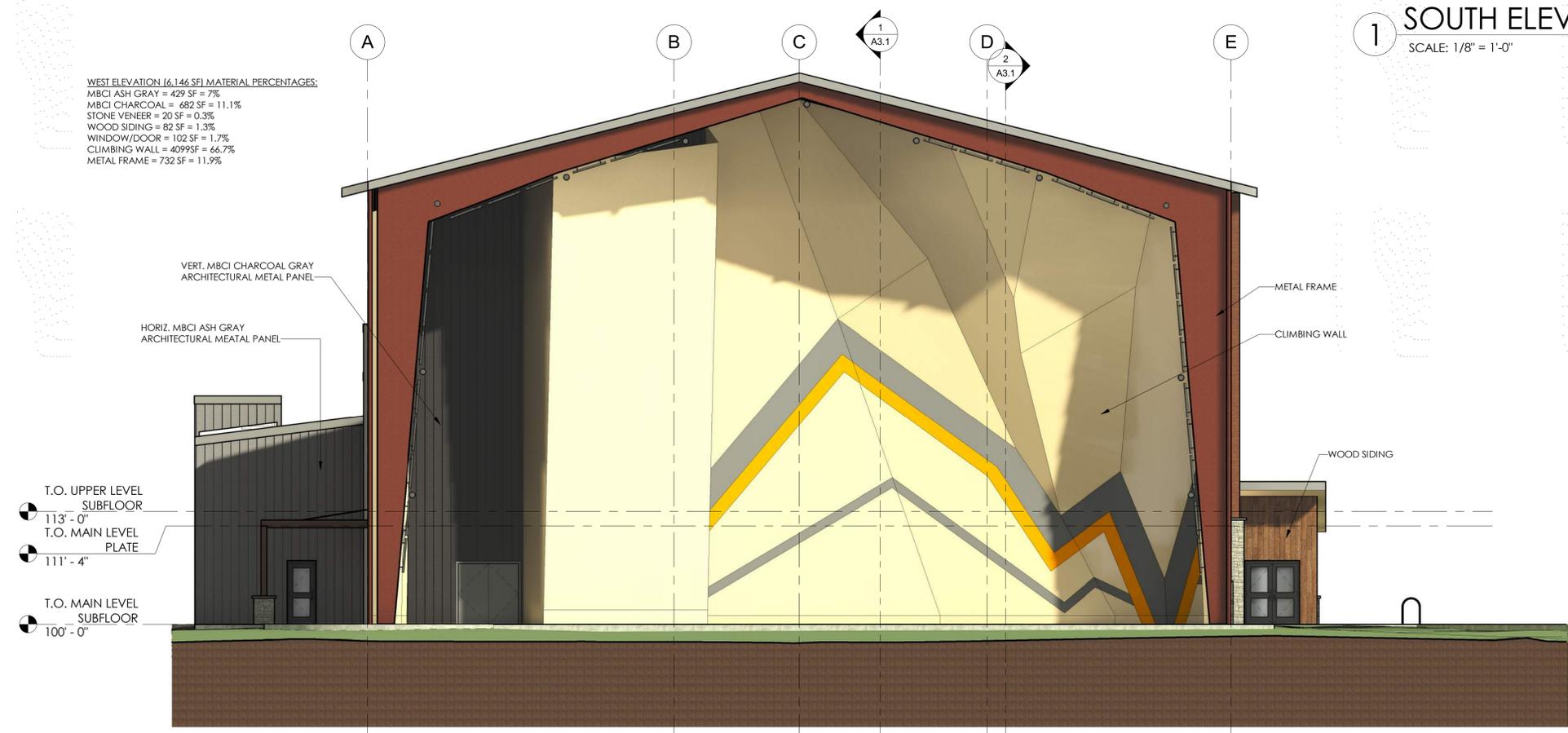
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**A1.3**



**1 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
 33 S. PRAIRIE PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: 19-061  
 DRAWING TITLE: ELEVATIONS

DATE: 10.13.21  
 DRAWN: MP CHECKED: Checker  
 ISSUE RECORD: Construction Documents 75%

#	REVISION	DATE

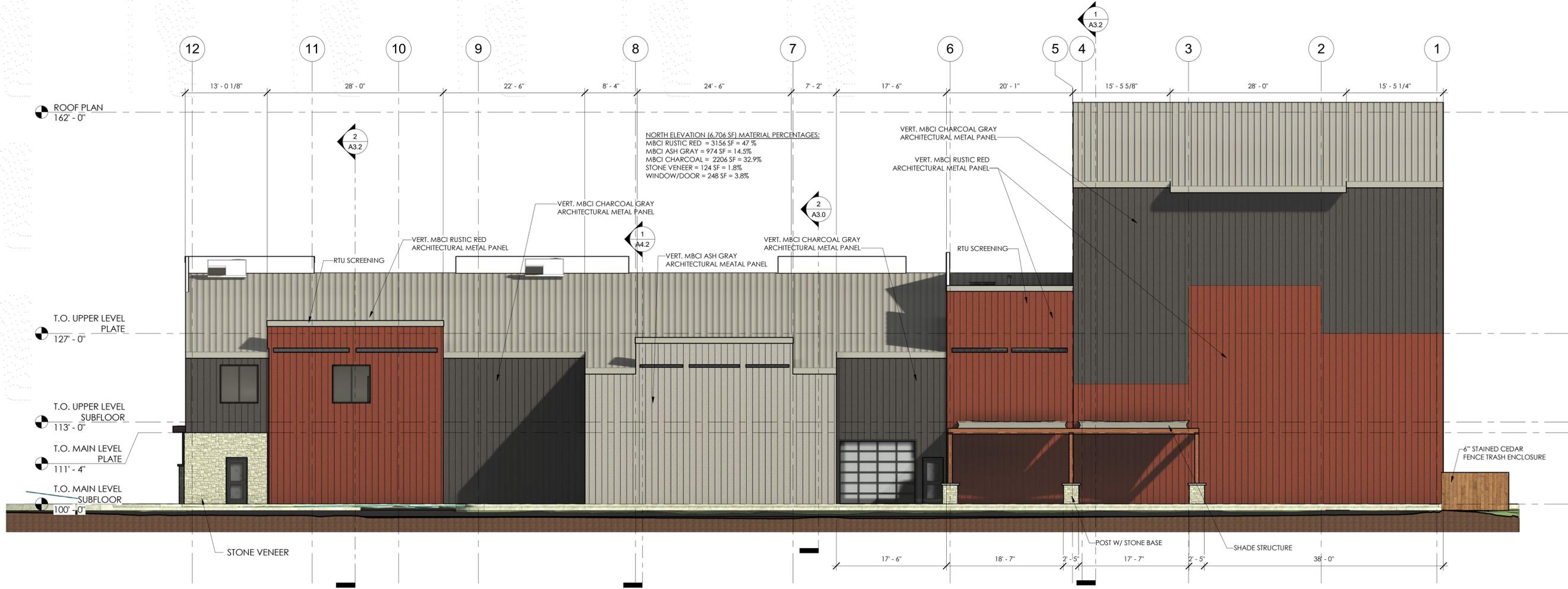
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**A2.0**



**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

UPPER FLOOR FACADE AREA = 4,501 SF  
15% TRANSPARENCY REQUIRED = 675.15 SF REQUIRED  
UPPER FLOOR TRANSPARENCY = 764 SF PROVIDED

PRIMARY STREET FACING FACADE = 3,036 SF  
METAL PANEL = 1498 SF = 49.3%  
STONE VENEER = 296 SF = 9.7%  
WINDOW/DOOR = 1027 SF = 33.8%  
WOOD = 48 SF = 1.6%  
SIGNAGE = 172 SF = 5.6%

GROUND FLOOR FACADE AREA = 1,473 SF  
50% TRANSPARENCY REQUIRED = 736.5 SF REQUIRED  
GROUND FLOOR TRANSPARENCY = 739 SF PROVIDED

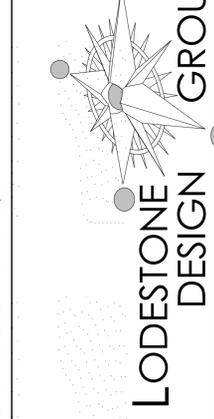
NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
33 S. PRAIRIE PKWY STE. 300  
LONGMONT, CO.

PROJECT #: 19-061  
DRAWING TITLE:

ELEVATIONS		
DATE:	10.13.21	
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**A2.1**



NEW CONSTRUCTION  
**LONGMONT CLIMBING  
 COLLECTIVE**  
 33 S. PRAIT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: 19-061  
 DRAWING TITLE:  
 COLOR PERSPECTIVE  
 VIEWS

DATE:  
 10.13.21

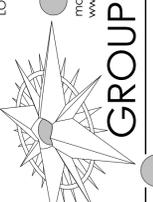
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**A2.4**



SLIM WALL PACK (SWP)

Project \_\_\_\_\_  
 Schedule \_\_\_\_\_ Date \_\_\_\_\_  
 Notes \_\_\_\_\_

DESCRIPTION

naturaLED® (SWP) is our slim, low-profile cutoff wall pack with the smooth contemporary design. Well-engineered, high-quality die-cast aluminum, delivering bright, crisp light. The excellent thermal design ensures our SWP's performance over rated life. Installation is made simple and easy with an adjustable angle and hinged junction box.

Our Slim Wall Packs are available in 15W, 28W and 45W with color options of Black and Bronze. Optional 3/4" knuckle-mount, adjustable swivel bracket or slip fitter provides you the flexibility for your application. SWP is ideal for landscape, wall/surface, low-level pathway, apartment buildings, schools and multi-use facilities.



FEATURES

- DLC Premium Certified
- IP65 Rated
- ADA Compliance
- Adjustable fixture angle
- 1/2" NPT knock out
- Forward throw beam
- Uniform and consistent color
- Excellent thermal design
- Aluminum die cast housing
- Photocell sensor compatible
- Material: Aluminum cast housing
- Input line voltage: 120-277
- CRI: 80
- Powerfactor >0.9
- Beam Angle: 140°
- Operating temperature: -4°F - 122°F

ACCESSORIES

- Slip Fitter
- Swivel Bracket
- 3/4" NPT Knuckle Mount



APPLICATIONS

- Security Lighting
- Pathway Lighting
- Perimeter Lighting
- Entryway Lighting

WARRANTY

- 5 Year Warranty

COLORS



LED	FX	SWP	15	840	DB	
LED	Category	Series	Wattage	Color Temp	Color	
	FX	Fixture	SWP Slim Wall Pack	15 15W	840 4000K	DB Dark Bronze

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1 of 3

SLIM WALL PACK (SWP)

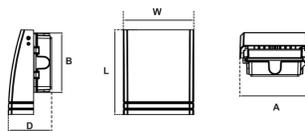
ORDERING

Watts (W)	Ordering Code	Description	Color Temp (K)	Lumens (lm)	Depth Size*	Beam Angle	Rated Hrs	Color	Dimmable	IP65	DLC
15	9301	LED-FXSWP15/840/DB	4000K	1,800	4"	140°	50,000	D. Bronze	-	-	P
15	9302	LED-FXSWP15/850/DB	5000K	1,800	4"	140°	50,000	D. Bronze	-	-	P
15	9307	LED-FXSWP15/840/BK	4000K	1,800	4"	140°	50,000	Black	-	-	P
15	9308	LED-FXSWP15/850/BK	5000K	1,800	4"	140°	50,000	Black	-	-	P
28	9303	LED-FXSWP28/840/DB	4000K	3,480	4"	140°	50,000	D. Bronze	-	-	P
28	9304	LED-FXSWP28/850/DB	5000K	3,480	4"	140°	50,000	D. Bronze	-	-	P
28	9309	LED-FXSWP28/840/BK	4000K	3,480	4"	140°	50,000	Black	-	-	P
28	9310	LED-FXSWP28/850/BK	5000K	3,480	4"	140°	50,000	Black	-	-	P
45	9305	LED-FXSWP45/840/DB	4000K	5,400	4"	140°	50,000	D. Bronze	-	-	P
45	9306	LED-FXSWP45/850/DB	5000K	5,400	4"	140°	50,000	D. Bronze	-	-	P
45	9311	LED-FXSWP45/840/BK	4000K	5,400	4"	140°	50,000	Black	-	-	P
45	9312	LED-FXSWP45/850/BK	5000K	5,400	4"	140°	50,000	Black	-	-	P

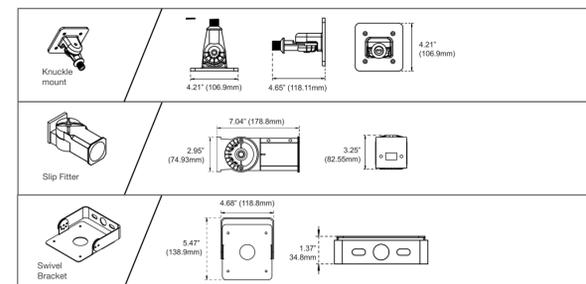
\*DLC Premium DLC - 15 - Standard DLC

\*ADA Compliance

SPECIFICATIONS



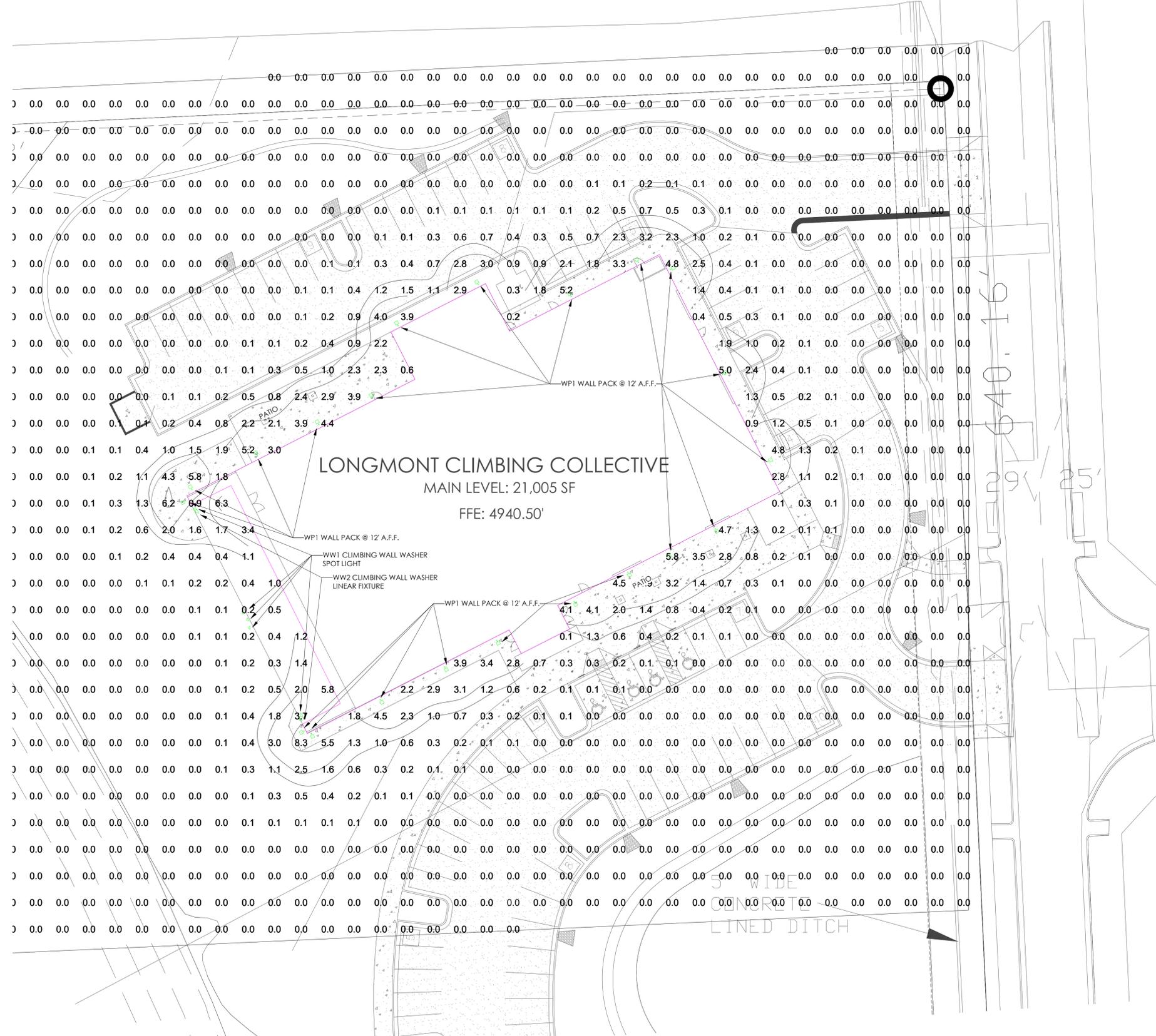
Length (L)	Width (W)	Depth (D)	Weight (lbs)	A	B
7.87" (200mm)	6.61" (167mm)	4" (103mm)	5.45	6.18" (157mm)	5.5" (140mm)



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2 of 3

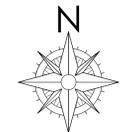


LONGMONT CLIMBING COLLECTIVE

MAIN LEVEL: 21,005 SF

FFE: 4940.50'

1 SITE PHOTOMETRIC  
 SCALE: 1" = 20'-0"



NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
 33 S. PRATT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: 19-061

DRAWING TITLE:

SITE PHOTMETRIC

DATE: 10-12-21

DRAWN: MP CHECKED: JVS

ISSUE RECORD DATE

Schematic Design

# REVISION DATE

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A0.1

# CLIMBING WALL WASHER - WW2

NOTE: WW2 CONSISTS OF A SERIES OF THESE FIXTURES AIMED HORIZONTALLY AT THE CLIMBING WALL FROM WITHIN THE COVERED AREA OF THE BUILDING. LUMEN PACKAGES (ANGLES AND OUTPUT) WILL BE TUNED TO PROVIDE EVEN LIGHTING OVER ENTIRE FACE OF WALL. LIGHTS WILL BE FULLY SHIELDED FROM EXTERIOR VIEWPOINTS.



## 4750LCR STATIC WHITE Linear Continuous Run

### HIGHLIGHTS

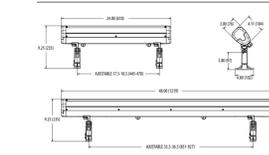
- The 4750L delivers industry leading durability, performance and lumen output
- Superior water resistance IP67 with Hydrel "Flow-Thru" technology, water flows around the independently sealed integral driver module and sealed LED module
- Aiming integrity with a fully adjustable and rugged knuckle design using Taper-Lock technology
- Long life in the most demanding environments with low copper content housing materials, stainless steel fasteners, and durable powder coat finish options for Coastal Regions and Natoratoriums
- 3G vibration rated per ANCI C136.31



Specifications

Weight:	4' 17.5lbs
	2' 12.5lbs

### DIMENSIONS



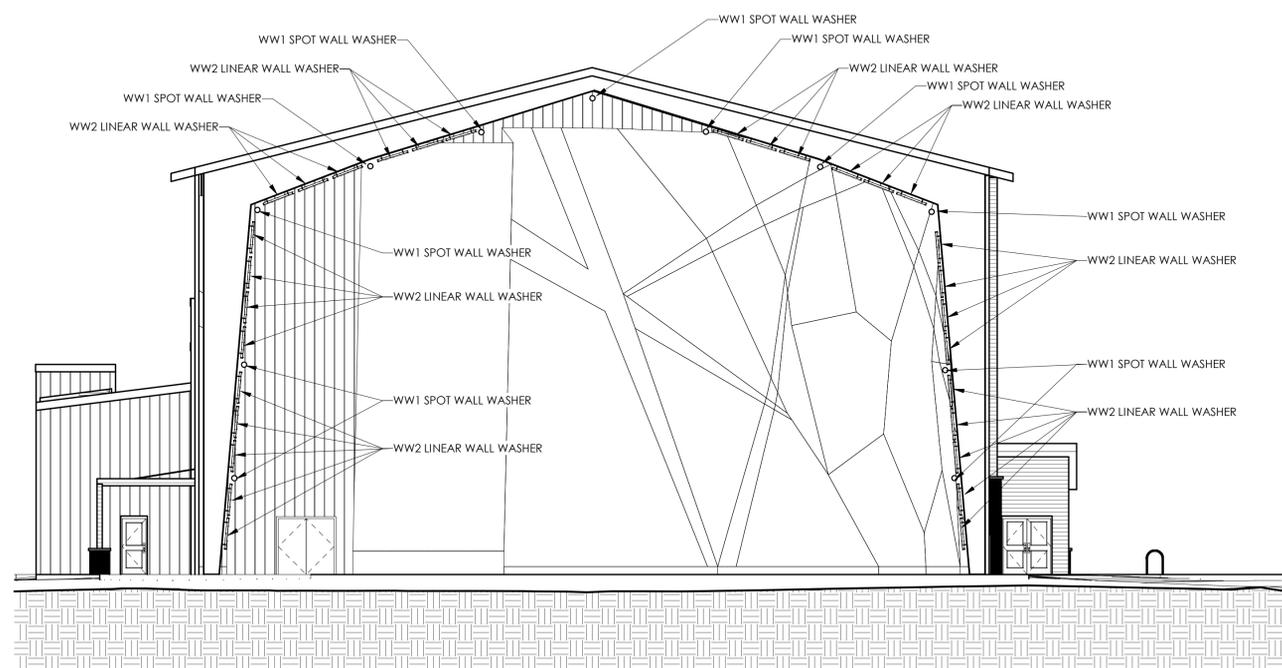
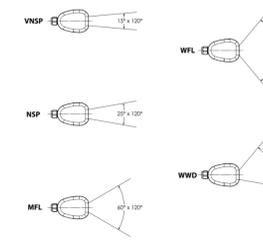
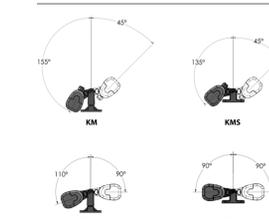
### LUMEN PACKAGES

Delivered Lumens	VNSP	NSP	MFL	WFL	WWD
Watts	64	64	64	64	64
LPW	102	104	113	114	103
Peak Candela	7650	5961	4242	2863	3098

Note: Information based on 4000K @ 2000LMF on 4FT fixture

### STANDARD DISTRIBUTION

### AIMING DETAILS



# 1 CLIMBING WALL LIGHTING ELEVATION

SCALE: 3/32" = 1'-0"



4750L LINEAR CONTINUOUS RUN STATIC WHITE | 2

### ORDERING INFORMATION

EXAMPLE: 4750LCR LOP 8FT 500LMF 30K MVOLT VNSP KM EA6 CSL10 ZT BL

Model*	Linear Plan*	Total Run Length*	LED Output*	LED Color Temperature*	Voltage*
4750LCR LED Linear Continuous Run Flood	LOP Linear Optimized Plan	...FT Specify Continuous Linear Feet in 2' Increments	<b>500LMF</b> 500 nominal lumens per foot	<b>27K</b> 2700K	<b>MVOLT</b> 120-277 volt
			<b>1000LMF</b> 1000 nominal lumens per foot	<b>30K</b> 3000K	<b>347</b> 347 volt
			<b>2000LMF</b> 2000 nominal lumens per foot	<b>40K</b> 4000K	Note: 347 volt 4ft only
			<b>800LMF</b> 800 nominal lumens per foot	<b>50K</b> 5000K	Note: 800LMF for AMBLW only

Distribution*	Mounting*	Mounting Accessories	Accessories	Cord Length*	Control Input*	Environmental Options	Finish*
VNSP 15 x 120 degrees	KM Knuckle Mount 45°	JIB4750L Aluminum Junction Box 12" Steel mounting spike	EA6 extended arm 6"	CSL10 10FT of cable	ZT 0-10V Reverse Phase	MRE Marine Environment	BL Black Textured
NSP 25 x 120 degrees	KMS Knuckle Mount Short 45°	MS12 12" Steel mounting spike	EA12 extended arm 12"	CSL25 25FT of cable	DALI DALI	NT Natoratorium Resistant	BL Designer Black Textured
MFL 60 x 120 degrees	KM90 Knuckle Mount 90°	MS18 18" Steel mounting spike	EA18 extended arm 18"	Note: See page 48 for feedback and jumper cables information	DMX DMX	CR Corrosion Resistant	DBB Designer Bronze Textured
WFL 95 x 120 degrees	KM590 Knuckle Mount 90° Asymmetric	PSA Pedestal Stanchion Splice Access	FVSR Full Visor	Note: Full visor includes top and bottom shield. Half visor is top only and is not available for all distributions except wall wash which is bottom only.	Note: 2ft exclude DALI and DMX. AMBLW can only be controlled by DMX.		DNAT Designer Natural Aluminum Textured
WWD Wall Wash (Asymmetric)	Note: KMS and KM90 not available with mounting accessories.	SMSA Stanchion mount splice access. Available 12" 45° in 6" increments	Note: Mounting Splice (MS) is used for future mounting only. Separate mounting box is required for power. Hydrel offers ABS/PSA junction box				GN Designer Green Textured
							GR Designer Gray Textured
							SND Sand Textured
							STG Steel Gray Textured
							TVG Terra Verde Green Textured
							WH White Textured
							DBL Designer Black Smooth
							DNB Designer Bronze Smooth
							DDB Designer Dark Bronze Smooth
							DNA Designer Natural Aluminum Smooth
							DWH Designer White Smooth
							CF Custom Finish
							RALTB0 Rail Paint Finishes

Note: \* is a required field

### DIMMING CHART

Voltage	Control Input	Min Dimming Level
MVOLT	ZT 0-10V	Dark
MVOLT	ELV Reverse Phase	Dark
MVOLT	DALI	Dark
MVOLT	DMX	Dark

\* Dark - Constant Current Dimming to <1%  
\* Min1 - Constant Current Dimming to 1%

### ELECTRICAL LOAD

Light Output	Ohm Current (mA)	System Watt	120	208	240	277	347
500LMF	500	21.1	0.18	0.10	0.09	0.08	NA
1000LMF	1040	42.1	0.35	0.20	0.18	0.15	0.12
2000LMF	1400	65.9	0.55	0.32	0.27	0.24	0.19

Operating Hours	0	25,000	50,000	100,000	Ambient	Lumen Multiplier
Lumen Maintenance Factor	0°C	1.00	0.94	0.85	0.70	1.02
	32°F					1.01
	10°C					1.00
	20°C					0.99
	30°C					0.98
40°C					0.97	
50°C					0.96	
60°C					0.95	

# CLIMBING WALL WASHER - WW1

NOTE: WW1 CONSISTS OF A SERIES OF THESE FIXTURES AIMED HORIZONTALLY AT THE CLIMBING WALL FROM WITHIN THE COVERED AREA OF THE BUILDING. LUMEN PACKAGES (ANGLES AND OUTPUT) WILL BE TUNED TO PROVIDE EVEN LIGHTING OVER ENTIRE FACE OF WALL. LIGHTS WILL BE FULLY SHIELDED FROM EXTERIOR VIEWPOINTS.



## SAF14 LED SPECIALTY ARCHITECTURAL FLOOD MVOLT LED

### HIGHLIGHTS

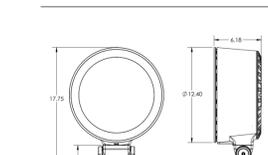
- Suitable for a variety of mounting applications including ground, wall, pole, stanchion
- 0-10V Reverse Phase Dimming
- Taper-Lock technology provides full aiming integrity utilizing both a rugged knuckle and yoke design
- Available in 80CRI and 90CRI
- 9,500lm
- IK10 option available
- Minimalist design that provides clean and intentional lines and transitions
- Slightly convex watershed lens that evades water build up and slanting
- Industry leading flow through design achieve with separately sealed optical chamber and driver
- NOM Listed



Specifications

Weight:	34lbs
EPA:	KM 1.24
	TM 1.21

### DIMENSIONS



### LUMEN PACKAGES

Delivered Lumens	40EG	10DEG	15DEG	20DEG	30DEG	40DEG
Watts	6,333	6,035	5,715	5,677	5,601	5,510
LPW	86	86	85	85	85	85
Peak Candela	380,615	151,901	50,868	34,851	14,125	8,210

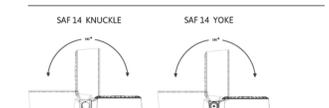
Delivered Lumens	50DEG	70DEG	15Vx60H	30Vx40H	60Vx15H	60Vx30H
Watts	5,471	5,302	5,844	5,642	5,469	5,395
LPW	84	82	90	87	84	83
Peak Candela	5,948	3,620	14,823	8,062	15,140	7,647

Note: Information based on 4000K @ P1, 80CRI

### STANDARD DISTRIBUTION



### AIMING DETAIL



SAF14 LED | 2

### ORDERING INFORMATION

EXAMPLE: SAF14 LED P1 80CRI 27K MVOLT 6DEG CWL KM CJB L1 ZT BL

Series*	Source*	Performance Packages*	CRI*	Color Temperature*	Voltage*	Distribution*	Lens*	Mounting*
SAF14	Specially Architectural Flood	LED P1 P2 P3	80CRI 90CRI	27K 2700K 30K 3000K 40K 4000K 50K 5000K	MVOLT	6DEG 10DEG 15DEG 20DEG 30DEG 40DEG 50DEG 70DEG 15Vx60H 30Vx60H 60Vx15H 60Vx30H	CWL Clear Watershed Lens	KM Knuckle YM Yoke

Mounting Accessories	Options Internal Accessory	Options*	Control Input*	External	Finish*
ADPMR Architectural Decorative Pole Mount Round	L1 Prismatic Lens	CSL 10" - 50" all dimming in 1% increments	ZT 0-10V dimming	GS Glass Shield	BL Black Textured
ADPMS Architectural Decorative Pole Mount Square	L2 Linear Spread Lens	L3 Solaring Lens	ELV Reverse phase	FGS Full Glass Shield	BRS Bronze Smooth
AMP-C Architectural Mid Pole Clamp available to fit on a 4" or 6" pole with 1 or 2 fixtures	IHL Honeycomb Louver	Note: Cool length required for Yoke Mounting only		WRG Wire Rock Guard	BWT Bronze Textured
APAS Round 18" Pole Mount	Hardware	Note: Only one internal accessory can be chosen			DBL Black Smooth
AWSC Architectural Wall Splice Cover	TPH Tamper proof hardware				DOB Designer Bronze
CAB Cylindrical Architectural Junction Box	LASC Safety Cable				DNA Designer Natural Aluminum
CJB Cylindrical Junction Box					NBS Natural Bronze Smooth
CPM Cylindrical Pedestal Mount					NET Natural
CPMSA Cylindrical Pole Mount Splice Access					WH White Textured
CSM Cylindrical Stanchion Mount 12" - 48" available in 6" increments					WHS White Smooth
CWMA_T Cylindrical Wall Mount Arm Top 12" - 48" available in 6" increments					Z Zinc Undercoat (e-RLZ)

\*Required Fields  
Notes:  
1 Lumens not reflective of Amber output. See below chart

### DIMMING CHART

Voltage	Control Input	Min Dimming Level
MVOLT	ZT	1%
MVOLT	ELV Reverse Phase	1%

NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
33 S. PRATT PKWY STE. 300  
LONGMONT, CO.

PROJECT #: 19-061  
DRAWING TITLE: CLIMBING WALL LIGHTING

DATE:	10-12-21
DRAWN: MP	CHECKED: JVS
ISSUE RECORD	DATE
Schematic Design	-

#	REVISION	DATE

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LODESTONE DESIGN GROUP

A0.2

# SHEET INDEX

L-0	LANDSCAPE REQUIREMENTS, KEY PLAN AND PLANT SCHEDULE
L-1	TREE PRESERVATION PLAN
L-2	LANDSCAPE PLAN - NORTHWEST
L-3	LANDSCAPE PLAN - SOUTHWEST
L-4	LANDSCAPE PLAN - NORTHEAST
L-5	LANDSCAPE PLAN - SOUTHEAST
L-6	LANDSCAPE DETAILS AND NOTES

# PLANT SCHEDULE

QTY.	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT & WIDTH
<b>DECIDUOUS TREES</b>					
10	AC MI	ACER MIYABEI 'MORTON'	STATE STREET MIYABEI MAPLE	2" B&B	40' X 20'
8	AC NE	ACER NEGUNDO 'SENSATION'	SENSATION BOXELDER MAPLE	2" B&B	30' X 20'
8	CA SP	CATALPA SPECIOSA	WESTERN CATALPA	2" B&B	50' X 40'
10	CE OC	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	2" B&B	55' X 45'
9	GY DI	GYMNOCALADUS DIOICUS	KENTUCKY COFFEETREE	2" B&B	60' X 45'
8	PO AC	POPULUS X ACUMINATA	LANCELEAF COTTONWOOD	2" B&B	40' - 30'
8	UL AC	ULMUS X 'ACCOLADE'	ACCOLADE ELM	2" B&B	50' X 30'
8	QU BU	QUERCUS BUCKLEYI	TEXAS RED OAK	2" B&B	55' X 35'
<b>ORNAMENTAL TREES</b>					
3	AC GR	ACER GRANDIDENTATUM	WASATCH BIGTOOTH MAPLE	1 1/2" B&B	25' X 20'
<b>EVERGREEN TREES</b>					
5	JU SC	JUNIPERUS SCOPULORUM 'WHICHITA BLUE'	ROCKY MOUNTAIN JUNIPER	6" HT. B&B	20' X 8'
5	PI PU	PICEA PLUNGENS	COLORADO BLUE SPRUCE	6" HT. B&B	70' X 30'
8	PI ED	PINUS EDULIS	PINON PINE	6" HT. B&B	25' X 15'
7	PI PO	PINUS PONDEROSA	PONDEROSA PINE	6" HT. B&B	65' X 30'
4	PI ST	PINUS STROBIFORMIS	SOUTHWESTERN WHITE PINE	6" HT. B&B	45' X 25'
<b>DECIDUOUS SHRUBS</b>					
31	AR TR	ARTEMISIA TRIDENTATA	BIG WESTERN SAGE	#5 CONT.	6' X 6'
38	AT CA	ATRIPLEX CANESCENS	FOUR WING SALTBUCH	#5 CONT.	6' X 4'
42	CH AM	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	#5 CONT.	4' X 5'
63	CH NA	CHRYSOTHAMNUS NAUSEOSUS (BLUE)	TALL BLUE RABBITBRUSH	#5 CONT.	6' X 6'
36	FA PA	FALLUGIA PARADOXA	APACHE PLUME	#5 CONT.	4' X 4'
44	PE LS	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	#5 CONT.	3' X 3'
25	PE AT	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#5 CONT.	4' X 4'
20	PR BE	PRUNUS BESSEYI 'PAWNEE BUTTES'	CREEPING WESTERN SAND CHERRY	#5 CONT.	30" X 4'
44	PR PU	PRUNUS PUMILA BESSEYI	WESTERN SAND CHERRY	#5 CONT.	6' X 6'
32	RH AR	RHUS AROMATICA 'GRO-LOW'	DWARF FRAGRANT SUMAC	#5 CONT.	3' X 6'
9	RH AA	RHUS TRILOBATA 'AUTUMN AMBER'	AUTUMN AMBER THREE LEAF SUMAC	#5 CONT.	18" X 6'
10	RH TR	RHUS TRILOBATA	THREE-LEAF SUMAC	#5 CONT.	6' X 6'
21	RO WO	ROSA WOODSII	WOODS' ROSE	#5 CONT.	4' X 4'
27	SY AL	SYMPHORICARPOS ALBUS	WHITE SNOWBERRY	#5 CONT.	4' X 4'
<b>EVERGREEN SHRUBS</b>					
13	AR CH	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN'	CHIEFTAIN MANZANITA	#5 CONT.	2' X 6'
12	AR PA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	#5 CONT.	18" X 4'
21	EP EQ	EPHEDRA EQUISSETINA	BLUE STEM JOINT FIR	#5 CONT.	4' X 5'
9	JU SQ	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	#5 CONT.	18" X 3'
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>					
34	AC MO	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	#1 CONT.	24" X 24"
55	BO GR	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA GRASS	#1 CONT.	3' X 24"
17	PA VI	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH RED SWITCH GRASS	#1 CONT.	4' X 18"

NATIVE SEED MIX - IRRIGATED (PER CITY OF LONGMONT)	LBS PLS/AC
BLUE GRAMA (ALMA, BAD RIVER, OR HACHITA VARIETY)	0.40
BUFFALOGRASS	5.83
INLAND SALTGRASS	0.42
SLENDER WHEATGRASS	1.37
SANDBERG BLUEGRASS	0.82
ALKALIGRASS	0.27
<b>TOTALS</b>	<b>9.11</b>

NOTE: DOUBLE THE RATE FOR AREAS BROADCAST SEED.

TURF SOO (PER CITY OF LONGMONT)	
BARRINGTON TALL FESCUE	40%
LABARINTH RTF TALL FESCUE	40%
BARRISTER KENTUCKY BLUEGRASS	20%

# TAP SIZING STATEMENT

PROJECT LANDSCAPE QUANTITIES:

TOTAL IRRIGATED LANDSCAPE AREA = 98,872 SF  
TOTAL NON-IRRIGATED LANDSCAPE AREA = 644 SF

PARKS SECTION 603.03 1. A. 1.

THE TAP SIZING CALCULATION SHALL USE THE FOLLOWING FORMULA: TOTAL SQUARE FEET OF IRRIGATED AREA FROM THAT TAP (INCLUDING FUTURE BUILD-OUT IF APPLICABLE) DIVIDED BY EIGHT (8). RESULT TIMES 7.48 = GALLONS PER WEEK. TAKE GALLONS PER WEEK AND DIVIDE BY FIVE (5) DAYS PER WEEK, DIVIDE THAT ANSWER BY SEVEN (7) HOURS PER DAY, AND DIVIDE THAT ANSWER BY SIXTY (60) TO = GALLONS PER MINUTE. TAP SIZE SHOULD THEN BE THE SAME AS THE SMALLEST COPPER PIPE (TYPE K) THAT WILL NOT EXCEED SEVEN (7) FEET PER SECOND. THE NUMBER OF DAYS PER WEEK AND HOURS PER DAY ARE SOMEWHAT FLEXIBLE, BUT THOSE GIVEN ABOVE SHOULD BE THE TYPICAL. (IF THE AREAS INCLUDE TEMPORARY IRRIGATION OF DRYLAND TURF, CALL PARKS AND FORESTRY FOR ADJUSTMENTS TO THIS FORMULA).

EQUATION USED FOR TOTAL IRRIGATED SF / 8 = ? \* 7.48 = ? / 5 = ? / 7 = ? / 60 = ? GPM

CALCULATION FOR IRRIGATION DEMAND 98,872/8=12,359 12,359\*7.48=92,445 92,445/5=18,489 18,489/7=2,641 2,641/60=44.02 GPM

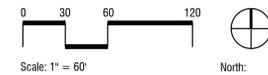
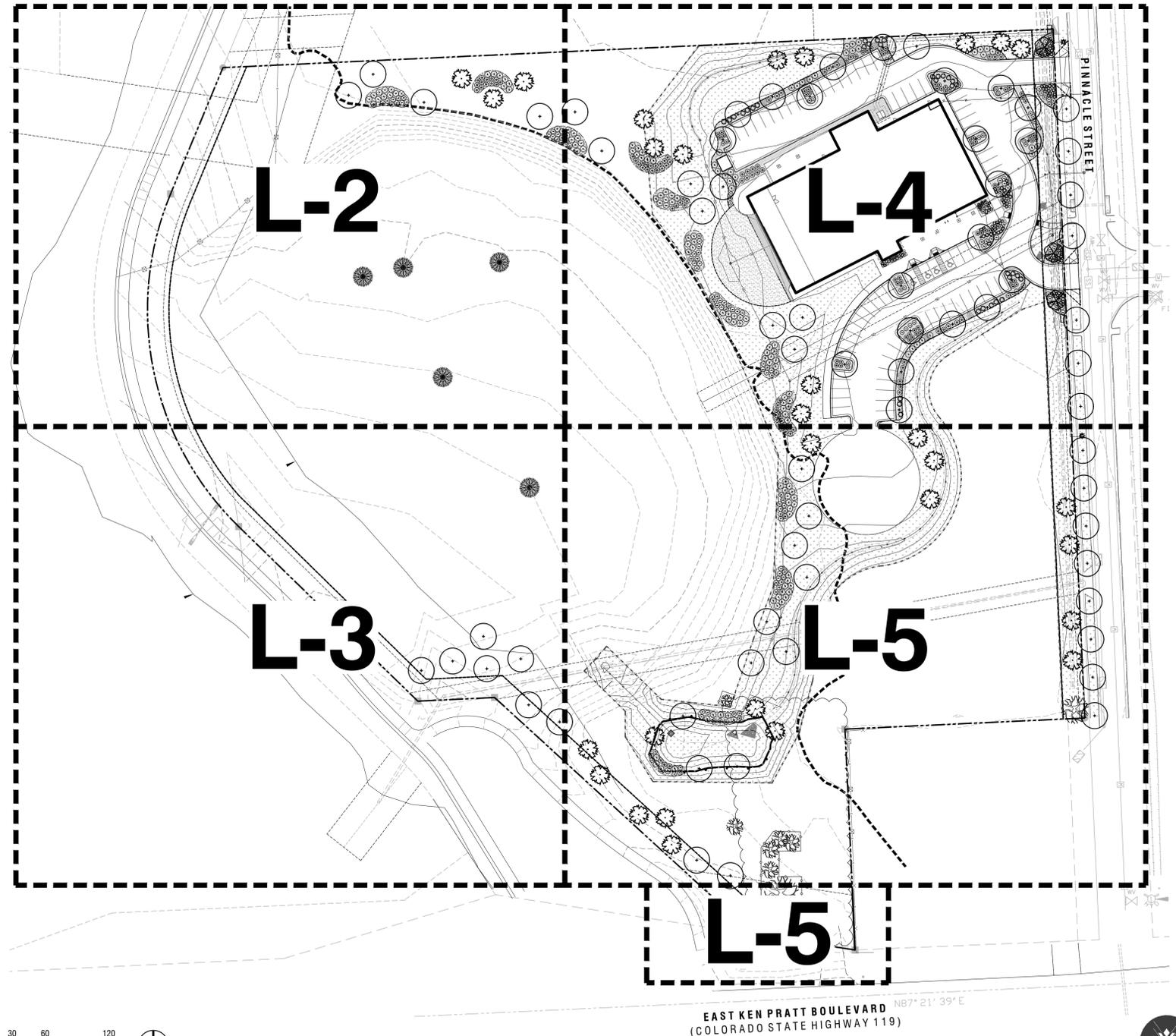
A 1-INCH SERVICE TEE (44 GPM) WILL SERVE THE LANDSCAPE AREA AND WILL BE CONNECTED VIA A TEE OFF THE MAIN WATER SERVICE TO THE PROJECT.

# LANDSCAPE AREA REQUIREMENTS

REGULATED AREA	SIZE (LENGTH OR AREA AS APPLICABLE)	NUMBER OF TREES AND SHRUBS REQUIRED PER REGULATED AREA	NUMBER OF TREES AND SHRUBS PROVIDED PER REGULATED AREA
PINNACLE STREET BUFFER (20' WIDTH) 1 TREE AND 5 SHRUBS PER 750 SF	(588 LF) 11,760 SF	16 TREES AND 78 SHRUBS	16 TREES AND 78 SHRUBS
PINNACLE STREET ROW 1 TREE PER 40 LF	588 LF	15 TREES	15 TREES
DETENTION / WATER QUALITY AREA 1 TREE AND 5 SHRUBS PER 50 LF OF PERIMETER	276 LF	6 TREES AND 28 SHRUBS	6 TREES AND 28 SHRUBS
PARKING LOT BUFFER - ABUTTING NORTH PROPERTY 1 TREE AND 5 SHRUBS PER 30 LF	307 LF	10 TREES AND 51 SHRUBS	10 TREES AND 51 SHRUBS
*PARKING LOT BUFFER - ABUTTING PINNACLE STREET 1 TREE AND 5 SHRUBS PER 30 LF	288 LF	10 TREES AND 48 SHRUBS	*10 TREE AND 48 SHRUBS
GREENWAY BUFFER (20' WIDTH) - ABUTTING PROPOSED SPRING GULCH #2 (BY OTHERS) 1 TREE AND 5 SHRUBS PER 500 SF AND 30 LF	(1,075 LF) 21,500 SF	43 TREES AND 215 SHRUBS	43 TREES AND 215 SHRUBS

\*TREES AND SHRUBS FOR THE PARKING LOT BUFFER ABUTTING PINNACLE STREET ARE ALSO COUNTED TOWARDS PINNACLE STREET NON-ARTERIAL LANDSCAPE BUFFER

# KEY PLAN



EAST KEN PRATT BOULEVARD NB 87° 21' 39" E  
(COLORADO STATE HIGHWAY 119)

NEW CONSTRUCTION  
**LONGMONT CLIMBING**  
**COLLECTIVE**  
33 S. PRATT PKWY STE. 300  
LONGMONT, CO.

PROJECT #: 19-061

DRAWING TITLE:  
LANDSCAPE REQUIREMENTS,  
KEY PLAN AND PLANT  
SCHEDULE

DATE: 10.13.21

DRAWN: CHECKED:

ISSUE RECORD DATE  
Project Status

# REVISION DATE

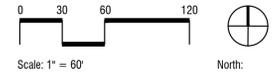
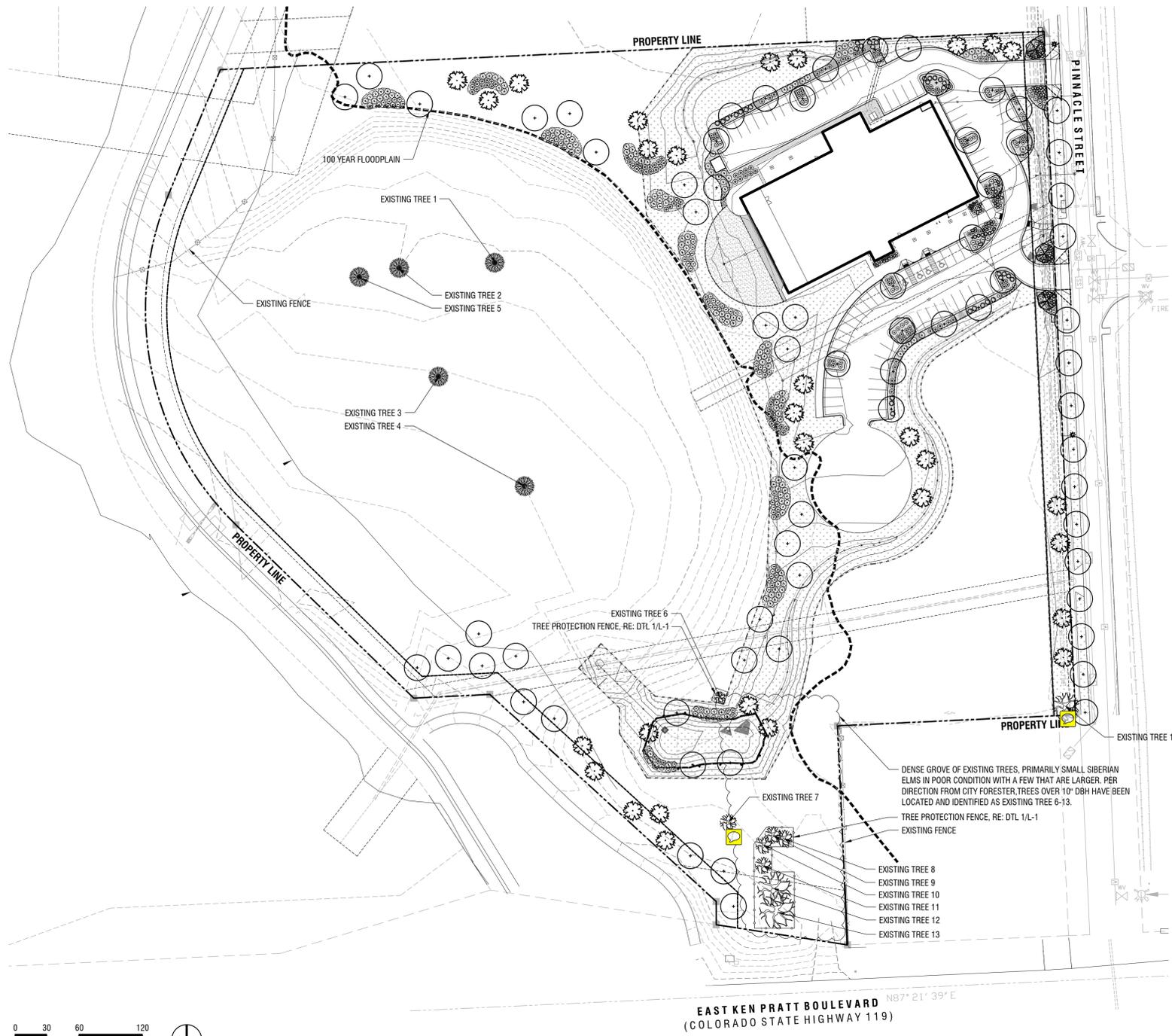
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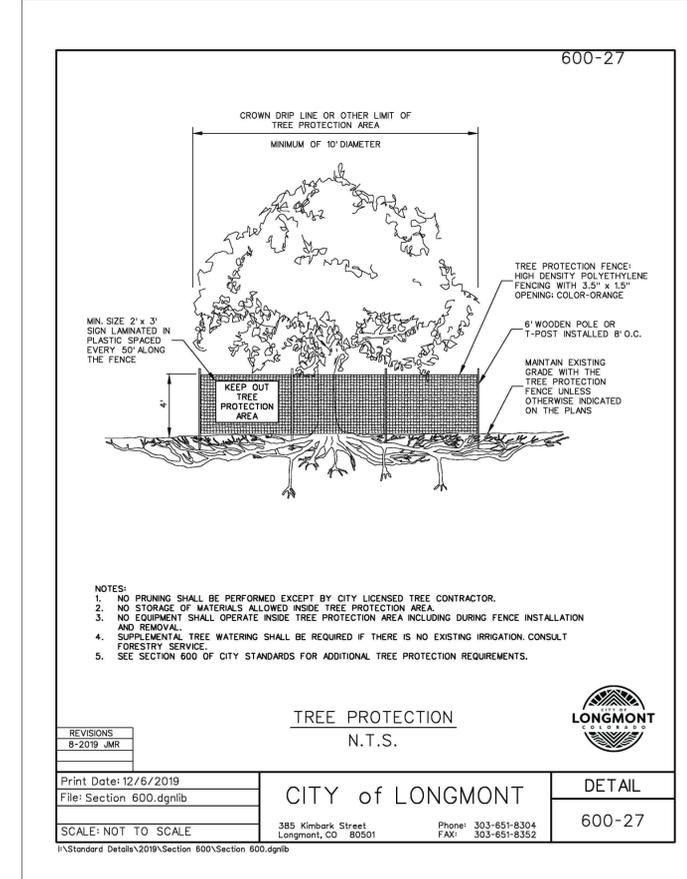
L-0

# TREE PRESERVATION PLAN



# TREE APPRAISAL AND MITIGATION FORM

Tree Assessment and Appraisal (Developer Review)						
Tree #	Species	Size	Condition	Remove/Remain/Relocate	Appraisal	Comments
1	Cottonwood, plains	4" dbh	Good	Remain		
2	Cottonwood, plains	6" dbh	Good	Remain		
3	Cottonwood, plains	6" dbh	Good	Remain		
4	Olive, Russian (Invasive)	8" dbh	Good	Remain		
5	Cottonwood, plains	10" dbh	Good	Remain		
6	Elm, Siberian	10" dbh	Good	Remain		
7	Elm, Siberian	16" dbh	Poor	Remove	<input checked="" type="checkbox"/>	Portions of dead in the tree.
8	Juniper (Large)	16" dbh	Good	Remain		
9	Juniper (Large)	16" dbh	Good	Remain		
10	Juniper (Large)	16" dbh	Good	Remain		
11	Juniper (Large)	16" dbh	Good	Remain		
12	Cottonwood, plains	42" dbh	Good	Remain		
13	Cottonwood, plains	75" dbh	Good	Remain		
14	Poplar spp.	3 stems each 30" dbh	Poor	Remove		90% Dead



- NOTES:
- NO PRUNING SHALL BE PERFORMED EXCEPT BY CITY LICENSED TREE CONTRACTOR.
  - NO STORAGE OF MATERIALS ALLOWED INSIDE TREE PROTECTION AREA.
  - NO EQUIPMENT SHALL OPERATE INSIDE TREE PROTECTION AREA INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  - SUPPLEMENTAL TREE WATERING SHALL BE REQUIRED IF THERE IS NO EXISTING IRRIGATION. CONSULT FORESTRY SERVICE.
  - SEE SECTION 600 OF CITY STANDARDS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.

TREE PROTECTION  
N.T.S.

**LONGMONT**

REVISIONS 8-2019_JMR	CITY of LONGMONT	DETAIL 600-27
Print Date: 12/6/2019 File: Section 600.dgnlib	385 Kimbark Street Longmont, CO 80501	Phone: 303-651-8304 FAX: 303-651-8352

I:\Standards\Details\2019\Section 600\Section 600.dgnlib

1 TREE PROTECTION  
NTS

NEW CONSTRUCTION  
**LONGMONT CLIMBING**  
**COLLECTIVE**  
 33 S. PRATT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: 19-061  
 DRAWING TITLE:  
 TREE PRESERVATION PLAN

DATE: 10.13.21  
 DRAWN: CHECKED:

ISSUE RECORD	DATE
Project Status	

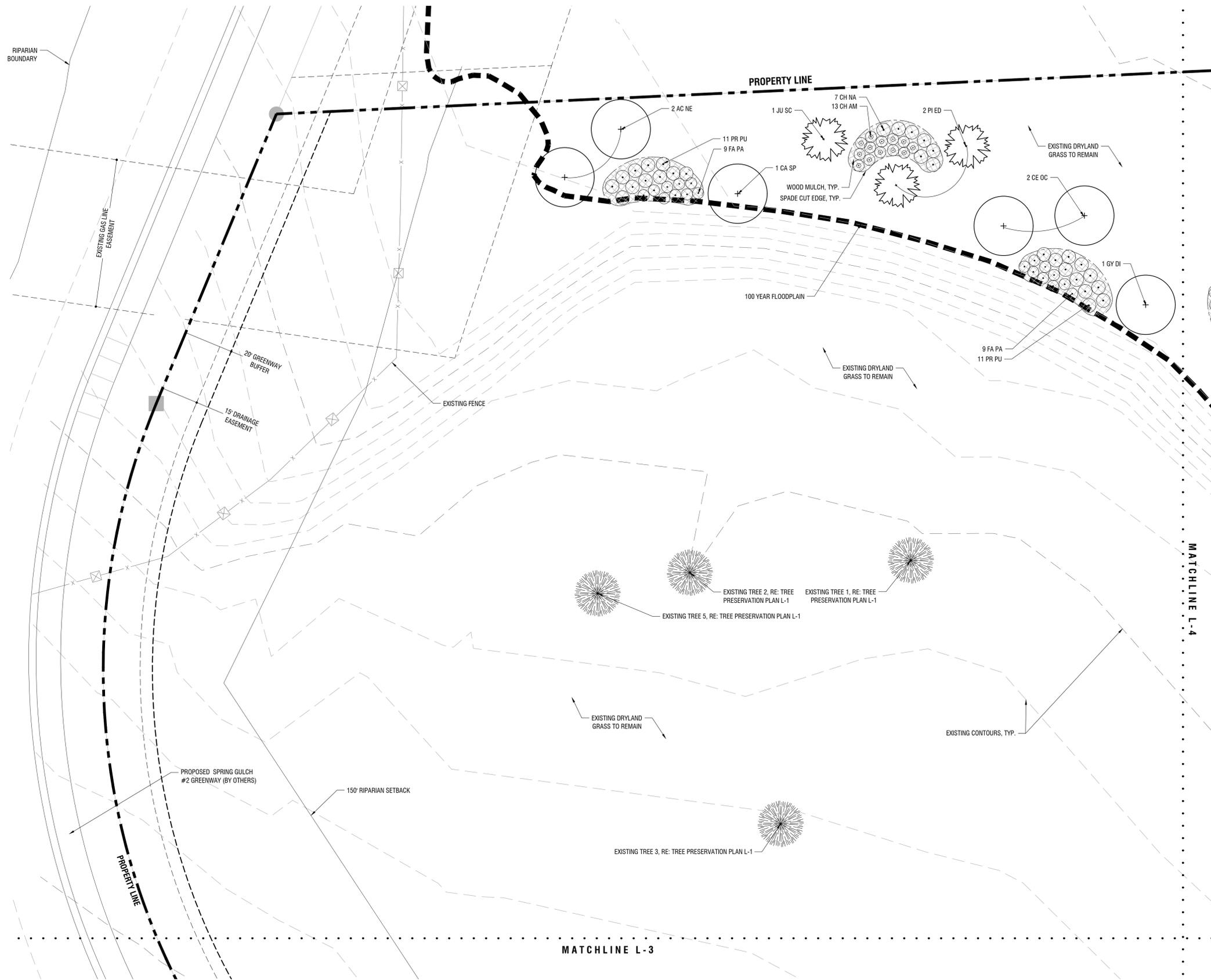
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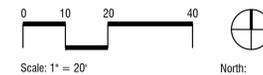


L-1



**LEGEND**

- DECIDUOUS SHADE TREE, RE: DTL 1,2,3/L-6
- EVERGREEN TREE, RE: DTL 1,2,3/L-6
- ORNAMENTAL TREE, RE: DTL 1,2,3/L-6
- DECIDUOUS SHRUBS, RE: DTL 4/L-6
- EVERGREEN SHRUBS, RE: DTL 4/L-6
- ORNAMENTAL GRASSES
- LANDSCAPE BOULDERS (24-42" X 24-42", APPROX SIZE AS SHOWN IN PLAN), ARKINS PARK BUFF SANDSTONE
- LIMIT OF GRADING DISTURBANCE
- PROPERTY LINE
- STEEL EDGER, 14 GA. ROLL TOP, BLACK, RE: DTL 5/L-6
- SPADE CUT EDGE
- TREE PROTECTION FENCE, RE: DTL 1/L-1
- (644 SF) STABILIZED CRUSHER FINES, TAN, 4" MIN. DEPTH. PLACE OVER GEOTEXTILE FABRIC MIRAFI 140N.
- (7,289 SF) PLANTING BEDS WITH SHREDED WOOD MULCH AT 3" DEPTH, NO WEED BARRIER FABRIC.
- (9,827 SF) PLANTING BEDS WITH A 2" LOCAL RIVER ROCK BORDER (INFORMAL 12-24" WIDTH AROUND EDGE OF PLANTING BED) AND 3/4" LOCAL RIVER ROCK MULCH WITHIN THE INTERIOR, 3" DEPTH. PLACE OVER GEOTEXTILE FABRIC, MIRAFI 140N.
- (3,962 SF) TURF SOD, RE: PLANT SCHEDULE, L-0.
- (77,794 SF) NATIVE SEED MIXTURE - IRRIGATED, RE: PLANT SCHEDULE, L-0.



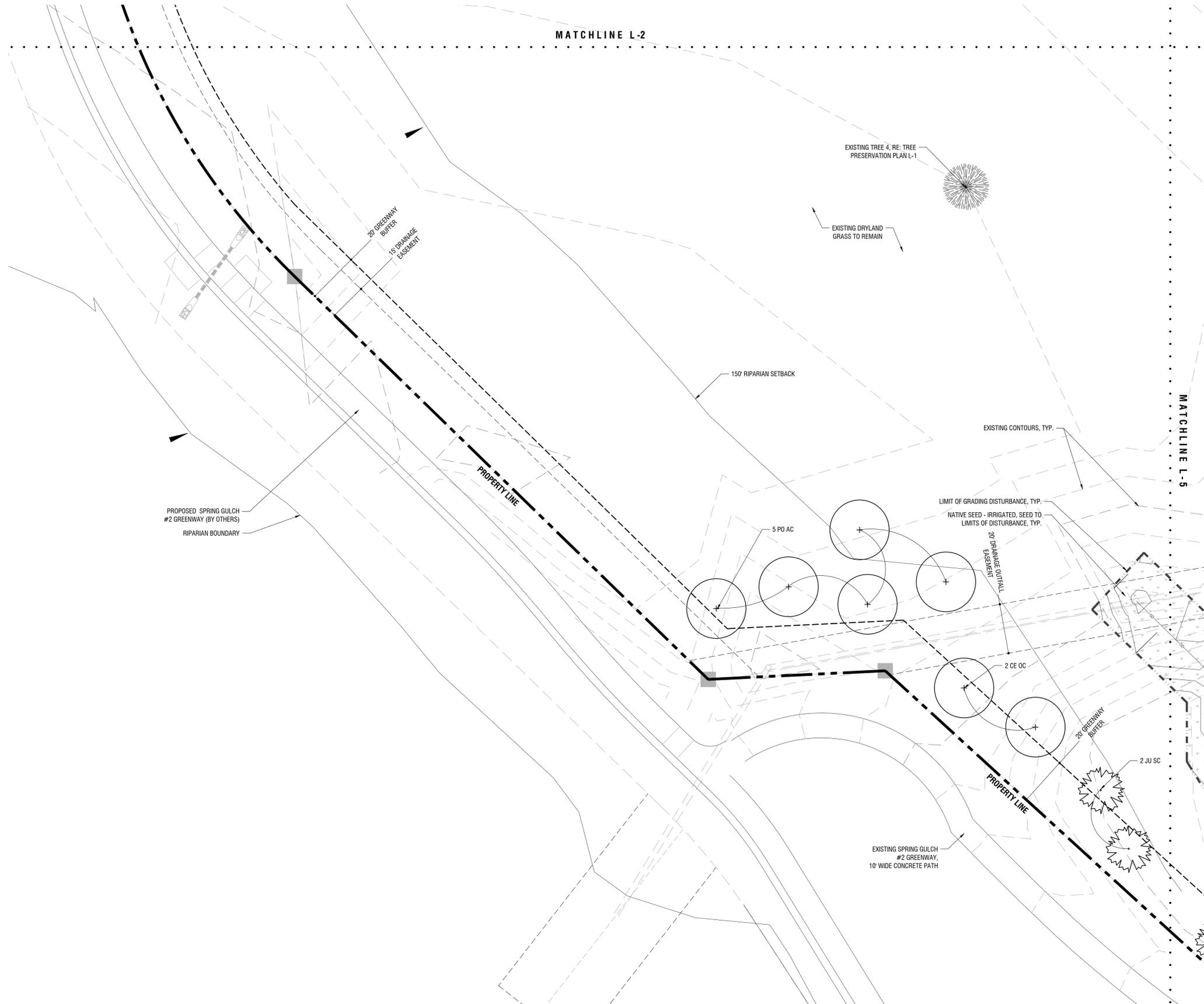
NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
 33 S. PRATT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: 19-061		
DRAWING TITLE:		
LANDSCAPE PLAN - NORTHWEST		
DATE:		
10.13.21		
DRAWN:	CHECKED:	
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Project Status		
#	REVISION	DATE

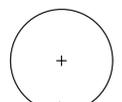
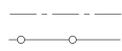
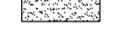
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**LEGEND**

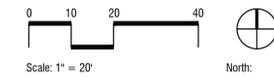
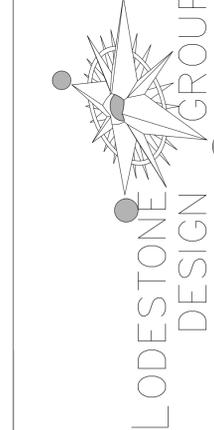
-  DECIDUOUS SHADE TREE, RE: DTL 1,2,3/L-6
-  EVERGREEN TREE, RE: DTL 1,2,3/L-6
-  ORNAMENTAL TREE, RE: DTL 1,2,3/L-6
-  DECIDUOUS SHRUBS, RE: DTL 4/L-6
-  EVERGREEN SHRUBS, RE: DTL 4/L-6
-  ORNAMENTAL GRASSES
-  LANDSCAPE BOULDERS (24-42" X 24-42", APPROX SIZE AS SHOWN IN PLAN), ARKINS PARK BUFF SANDSTONE
-  LIMIT OF GRADING DISTURBANCE
-  PROPERTY LINE
-  STEEL EDGER, 14 GA. ROLL TOP, BLACK, RE: DTL 5/L-6
-  SPADE CUT EDGE
-  TREE PROTECTION FENCE, RE: DTL 1/L-1
-  (644 SF) STABILIZED CRUSHER FINES, TAN, 4" MIN. DEPTH. PLACE OVER GEOTEXTILE FABRIC MIRAFI 140N.
-  (7,289 SF) PLANTING BEDS WITH SHREDDED WOOD MULCH AT 3" DEPTH. NO WEED BARRIER FABRIC.
-  (9,827 SF) PLANTING BEDS WITH A 2" LOCAL RIVER ROCK BORDER (INFORMAL 12-24" WIDTH AROUND EDGE OF PLANTING BED) AND 3/4" LOCAL RIVER ROCK MULCH WITHIN THE INTERIOR, 3" DEPTH. PLACE OVER GEOTEXTILE FABRIC, MIRAFI 140N.
-  (3,962 SF) TURF SOD, RE: PLANT SCHEDULE, L-0.
-  (77,794 SF) NATIVE SEED MIXTURE - IRRIGATED, RE: PLANT SCHEDULE, L-0.

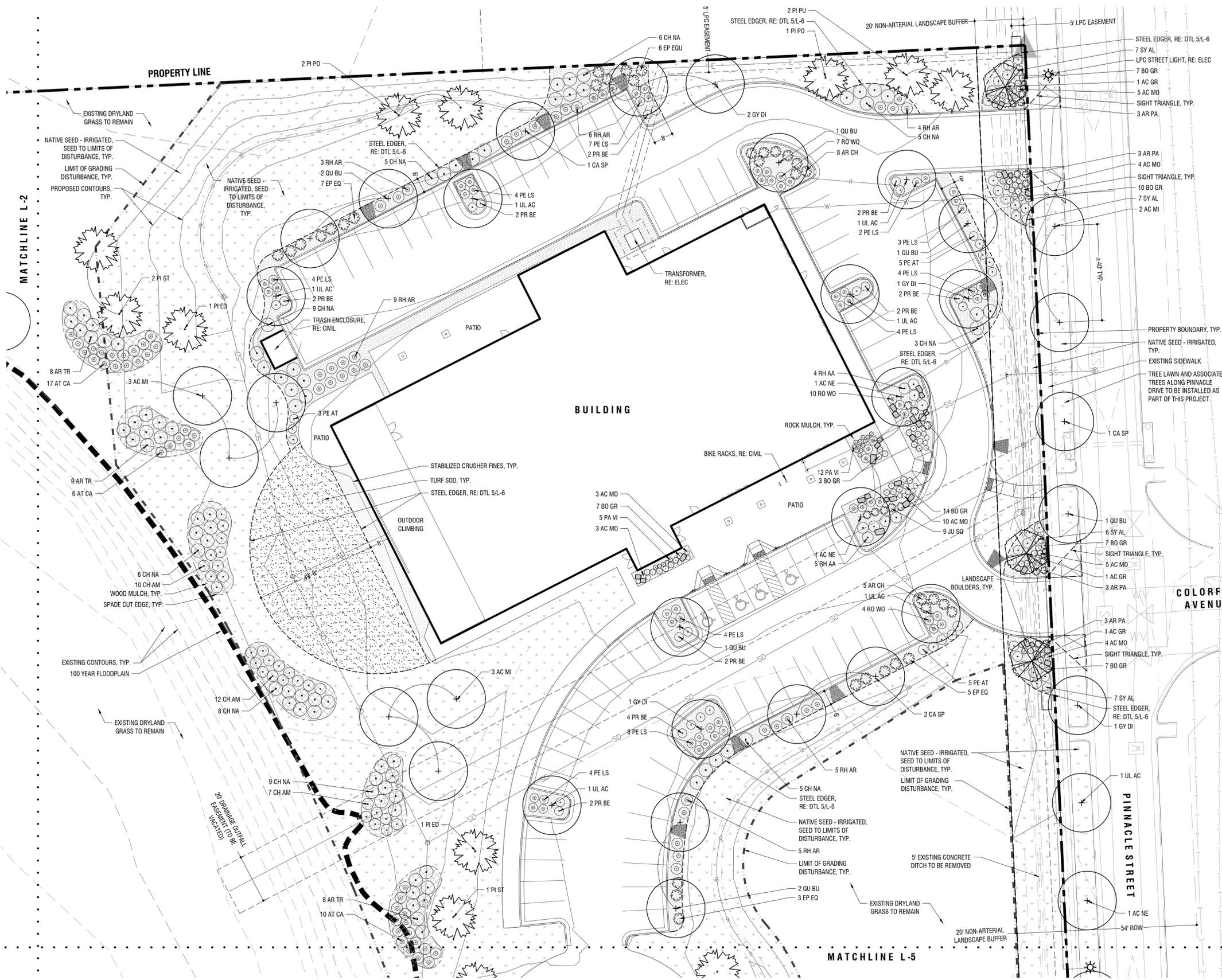
NEW CONSTRUCTION  
**LONGMONT CLIMBING COLLECTIVE**  
 33 S. PRATT PKWY STE. 300  
 LONGMONT, CO.

PROJECT #: 19-061	
DRAWING TITLE:	
LANDSCAPE PLAN - SOUTHWEST	
DATE:	10.13.21
DRAWN:	CHECKED:
ISSUE RECORD	DATE
Project Status	
#	REVISION
	DATE

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**LEGEND**

- DECIDUOUS SHADE TREE, RE: DTL 1,2,3/L-6
- EVERGREEN TREE, RE: DTL 1,2,3/L-6
- ORNAMENTAL TREE, RE: DTL 1,2,3/L-6
- DECIDUOUS SHRUBS, RE: DTL 4/L-6
- EVERGREEN SHRUBS, RE: DTL 4/L-6
- ORNAMENTAL GRASSES
- LANDSCAPE BUILDERS (24-42" X 24-42", APPROX SIZE AS SHOWN IN PLAN), ARKINS PARK BUFF SANDSTONE
- LIMIT OF GRADING DISTURBANCE
- PROPERTY LINE
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- SPADE CUT EDGE
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- (7,289 SF) PLANTING BEDS WITH SHREDDED WOOD MULCH AT 3" DEPTH, NO WEED BARRIER FABRIC.
- (9,827 SF) PLANTING BEDS WITH A 2" LOCAL RIVER ROCK BORDER (INFORMAL 12-24" WIDTH AROUND EDGE OF PLANTING BED) AND 1/2" LOCAL RIVER ROCK MULCH WITHIN THE INTERIOR, 3" DEPTH, PLACE OVER GEOTEXTILE FABRIC, MIRAFI 140N.
- (3,962 SF) TURF SOD, RE: PLANT SCHEDULE, L-0.
- (77,794 SF) NATIVE SEED MIXTURE - IRRIGATED, RE: PLANT SCHEDULE, L-0.

NEW CONSTRUCTION

# LONGMONT CLIMBING COLLECTIVE

33 S. PRATT PKWY STE. 300  
LONGMONT, CO.

PROJECT #:	19-061	
DRAWING TITLE:	LANDSCAPE PLAN - NORTHEAST	
DATE:	10.13.21	
DRAWN:	CHECKED:	
ISSUE RECORD	DATE	
Project Status		
#	REVISION	DATE

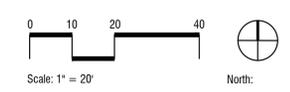
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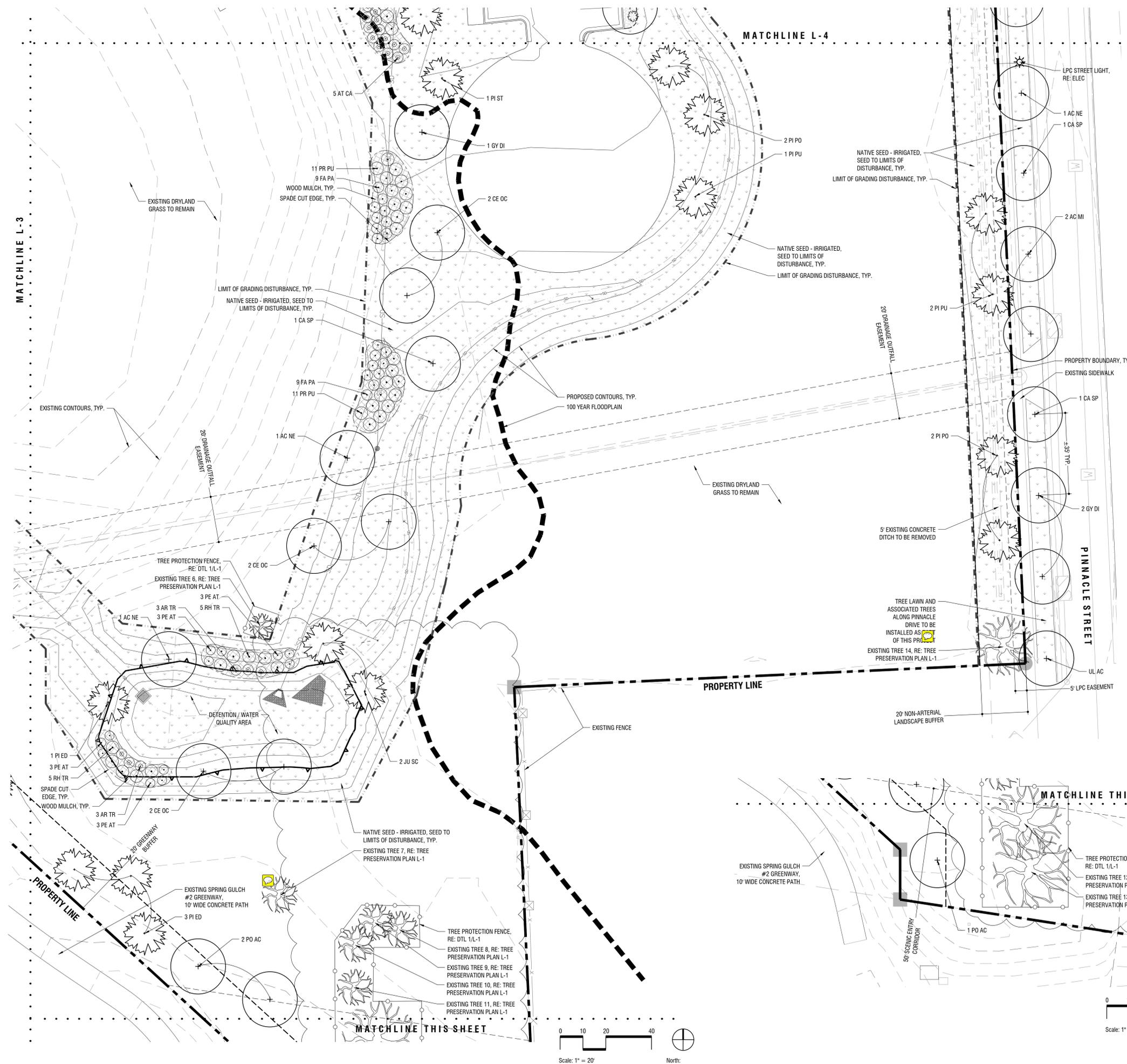
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WILD RYE DESIGN LLC  
LANDSCAPE ARCHITECTURE  
802 SENECA CT  
LAFAYETTE, COLORADO 80026  
303 325 1461

# L-4





### LEGEND

- DECIDUOUS SHADE TREE, RE: DTL 1,2,3/L-6
- EVERGREEN TREE, RE: DTL 1,2,3/L-6
- ORNAMENTAL TREE, RE: DTL 1,2,3/L-6
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- (77,794 SF) NATIVE SEED MIXTURE - IRRIGATED, RE: PLANT SCHEDULE, L-0.

NEW CONSTRUCTION

# LONGMONT CLIMBING COLLECTIVE

33 S. PRATT PKWY STE. 300  
LONGMONT, CO.

PROJECT #: 19-061  
DRAWING TITLE: LANDSCAPE PLAN - SOUTHEAST  
DATE: 10.13.21  
DRAWN: CHECKED:  
ISSUE RECORD DATE  
Project Status

#	REVISION	DATE

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